

AGENDA
City of Hobbs Planning Board – Regular Meeting
April 15th, 2025 at 10:00 AM

W.M. “Tres” Hicks, Chairman
Bill Ramirez
Brett Drennan
Larchinee Turner

Guy Kesner, Vice Chairman
Ben Donahue
Brett Clay

Tentative Agenda for the Planning Board Regular Session Meeting to be held on Tuesday, April 15th, 2025 at 10:00 AM, at the City of Hobbs Annex Building, First Floor Commission Chambers located at 200 E. Broadway, Hobbs, NM 88240.

AGENDA

Call To Order and Roll Call.

- 1) Review and Consider Approval of Agenda.
- 2) Review and Consider Approval of Minutes.

March 18th, 2025 – Regular Meeting

Communications from Citizens. (3-minute limit per citizen).

ACTION ITEMS:

- 3) Review and Approve the RV Park Map Amendment for a proposed RV Park located at the intersection of Byers Street and Donohue Avenue.
- 4) Review and Approve the RV Park Map Amendment for a proposed RV Park located off of North Grimes Street.
- 5) Review and Approve a variance for an existing carport located at 218 W Gypsy Street.
- 6) Review and Approve a proposed subdivision of 4 lots located at the intersection of Byers Street and Cochran Street.
- 7) Review and Approve a proposed subdivision plat to combine lots and vacate an easement located at 405 E Navajo Drive.
- 8) Review and Approve the Final Plat for The Meadows V Subdivision.

DISCUSSION ITEMS:

- 9) Review and Consider the ICIP deadlines for the 2027-2031 submission is due by July 11th, 2025.

Adjournment.

The City will make every effort to provide reasonable accommodations for people with disabilities who wish to attend a public meeting. Please notify the City at least 24 hours before the meeting. Telephone 575-397-9232.

“Notice is hereby given that a quorum of the Hobbs City Commission may be in attendance at this meeting.”



PLANNING BOARD MEETING MINUTES 3/18/2025

**PLANNING BOARD REGULAR MEETING
MINUTES
MARCH 18, 2025**

The Hobbs Planning Board met on March 18, 2025, at 10:00 a.m. at the City of Hobbs Annex Building, First Floor Commission Chambers, located at 200 E. Broadway, Hobbs, NM 88240 with Mr. W.M. “Tres” Hicks, Chairman, presiding.

Members Present:

W.M. “Tres” Hicks, Chairman
Guy Kesner, Vice Chairman
Brett Clay (*via phone*)
Bill Ramirez

Members Absent

Larchinee Turner
Brett Drennan
Ben Donahue

Also present were members of the public and City staff as follows:

Todd Randall, Assistant City Manager	Anthony Henry, City Engineer
April Hargrove, Engineering Assistant	Kristalyn Seepersad, Project Manager
Medjine Desrosiers-Douyon, Deputy City Attorney	
5 Citizen(s)	

Call to Order and Roll Call

Ms. April Hargrove, Engineering Assistant, did a roll call for members as follows:

Mr. Ramirez-yes, Ms. Turner-absent, Mr. Kesner-yes, Mr. Drennan-absent, Mr. Clay-yes, Mr. Donahue-absent, and Mr. Hicks-yes. There were four members present at the meeting.

Mr. Hicks called the meeting to order at 10:15 a.m.

1.) Review and Consider Approval of Agenda

The first item of business was to review and approve the agenda for the March 18, 2025, regular meeting. Mr. Hicks asked if there were any additions or changes to the agenda. Mr. Randall stated there were no changes. Mr. Ramirez made a motion, seconded by Mr. Kesner to approve the agenda as presented. The vote on the motion was 4-0 and the motion carried.

2.) Review and Consider Approval of Minutes

Mr. Hicks asked if everyone had a chance to read the Regular Meeting Minutes from February 18, 2025. Mr. Kesner made a motion, seconded by Mr. Ramirez to approve the Regular Meeting Minutes as presented. The vote was recorded as follows: Ramirez yes, Kesner yes, Clay yes, Donahue absent, Turner absent, Drennan absent, Hicks yes. The vote on the motion was 4-0 and the motion carried.

Communications from Citizens

There were no communications from citizens.

Action Items

3) Review and Approve the request for a parking variance for the proposed extension for Get-R-Done RV Park located off of Marland Blvd.

Ms. Kristalyn Seepersad, Project Manager, presented a variance request for the Get-R-Done RV Park. She stated that the RV park was discussed at last month's Planning Board meeting, and the owner has since submitted plans requesting a variance for the size of the parking spaces. The proposed dimensions are 30 by 60 feet, whereas the ordinance requires 35 by 60 feet.

Ms. Seepersad noted that in 2022, the Board approved a similar variance for another RV park, allowing 30 by 70 feet spaces. Although previous notes mentioned 35 feet, the actual approved width was 30 feet. The proposed spaces for this project are approximately 30 by 70 feet, with one section measuring 16 by 69 feet.

Mr. Hicks inquired whether the ordinance specifies length requirements for angled parking spaces. Mr. Randall responded that it does not specify length, so enforcement depends on roadway design.

Mr. Hicks also asked if the 30-foot-wide spaces are sufficient for RVs. Mr. Randall explained that most RVs are 9 to 10 feet wide, and even with slide-outs, they extend to about 13 feet. He added that the City has approved similar sizes before, and some developments have used even smaller widths.

Mr. Kesner asked whether there is enough space for additional items such as tow vehicles and picnic tables. Mr. Randall confirmed that the proposal includes space for these items.

Mr. Hicks inquired about setback requirements. Mr. Randall stated that a five-foot setback is required along common property lines to ensure adequate spacing.

Mr. Kesner then asked if RVs will have enough space to park and exit. Mr. Hicks confirmed that a standard 40- to 45-foot RV will fit comfortably within the designated spaces. While some maneuvering may be necessary, the layout allows for K-turns and adjustments.

Mr. Jeremy Baker, Engineer of Record, described the development as a good infill project that makes use of otherwise inaccessible land. He noted that a 20-foot easement provides access to the property from Marland and clarified that the development will limit the maximum RV size to ensure a proper fit.

Mr. Ramirez made a motion to approve the variance request, seconded by Mr. Kesner. The motion carried with a 4-0 vote.

4) Review and Approve the request to subdivide a property located off of Dal Paso Street.

The Property Owner is requesting a type 3A subdivision located in the South half of the South half (S2/S2) of Section 11, Township 18 South, Range 38 East.

Mr. Randall stated this is a request for a subdivision off Dal Paso Street, classified as a type 3 subdivision. He stated this development would extend Millen Drive. Currently, Millen Drive extends for about half a mile, but there is no connection between Fowler Street and what would be Denver City Highway. Mr. Randall stated the subdivision falls along a section line where an Xcel Energy substation is already located.

Mr. Randall explained that the proposed subdivision consists of more than three lots. As part of the approval, the City has planned an 80-foot-wide right-of-way for a future roadway. He noted that the developer has dedicated a portion of Denver City Highway, which is a positive step for public infrastructure. Additionally, an existing Xcel easement runs along the southern boundary of the property. City staff has requested that an 80-foot-wide easement be dedicated for a future collector roadway. This easement will serve as a corridor for both subsurface and surface public infrastructure, accommodating dry utilities, public water, and sewer systems. Given the presence of a designated waterway, Mr. Randall emphasized the importance of maintaining the easement as a public infrastructure corridor. This ensures that if infrastructure relocation becomes necessary in the future, the financial responsibility will be appropriately assigned. He also stated that on the north side of the subdivision, the easement will remain as close to the section line as possible.

In response to Mr. Hicks's question, Mr. Randall stated there are some uncertainties regarding the width of the existing Xcel easement, whether it is 30 feet or 50 feet. Regardless, the proposed infrastructure easement will overlay it, ensuring adequate space for future development.

Mr. Kesner acknowledged that this plan allows for the future extension of Millen Street, which has been a long-standing concern. Mr. Randall stated discussions with the County have also focused on solidifying major corridor connections, particularly along section line roadways. Mr. Randall stated this subdivision could serve as an opportunity to support those efforts.

With no further discussion, Mr. Ramirez made a motion to approve the request for a type 3A subdivision located in the south half of the South half (S2/S2) of Section 11, Township 18 South, Range 38 East, seconded by Mr. Clay. The vote on the motion was 4-0 and the motion carried.

5) Review and Approve the preliminary plat approval for the proposed South 40 Subdivision.

Mr. Randall stated this is the South 40 Subdivision preliminary plat discussion, including an agreement for the lift station. He explained that the goal is to accommodate the developers so they can proceed, pending approval by the County Planning Board. Presenting the overall master plan, Mr. Randall highlighted the Unit 1 lot layout and noted that not all City staff comments had been received since the plan remains in the preliminary stage.

Mr. Randall outlined key aspects of the layout, stating that lot frontages range from 125 feet to over 150 feet. The subdivision includes 14th Street and Marland Street, where additional right-of-way dedication has been requested.

Regarding the South Bypass, Mr. Randall noted that it was initially planned to pass through the middle of the subdivision. The Planning Board had staff review the location, considering a 165-foot right-of-way for the Southeast Bypass. He explained that this could be achieved through either an easement or an actual dedication. Currently, a 60-foot easement is under consideration, with 105 feet reserved for the future South Bypass. He also mentioned that the west side of the property is being reviewed for potential bypass alignment.

In response to Mr. Hicks' question, Mr. Randall stated that relocating the bypass route would help avoid acquiring multiple properties. However, if multiple properties were affected, some structures might need to be removed.

Mr. Randall then discussed the Texas Street extension, planned along the subdivision's southern boundary. He explained that water and sewer extensions would be required, necessitating utility easements along lot frontages to prevent placing infrastructure directly under paved roadways.

Mr. Randall emphasized that utility lines should be positioned outside the roadway to prevent damage, citing issues in developments like Cimarron Estates and Desert Sage. He further detailed the need for 10-foot easements on all adjacent properties for dry utilities, including electrical and communication lines, transformers, and pedestals. Additionally, he noted that fire hydrants and other vertical improvements should not be placed within roadway corridors. A specific clause will also be included to prevent permanent structures, such as fences or trees, from being built over utility easements.

Mr. Randall stated that the subdivision is located in Flood Zone D, where flood risks remain undetermined. He acknowledged concerns due to low-lying areas, explaining that detention ponds are designed for a 10-year storm event, though discussions are underway about increasing this standard to 50-year events. Base flood elevations must be defined to determine house and roadway elevations during major storms. Some lots have already been marked as non-buildable due to drainage constraints.

Mr. Randall stated since the subdivision falls outside city limits, county regulations apply. Mr. Randall noted that the County has adopted standard floodplain management guidelines, which require base flood elevation determinations for subdivisions exceeding 5 acres or 50 lots. A flood study will be necessary as the South 40 Subdivision exceeds 5 acres.

In response to Mr. Hicks's question, Mr. Randall stated that the lift station's exact location has yet to be determined. The City is requesting a detailed plan outlining the lift station's location, depth, capacity, and the overall sewer plan for the development. He clarified that the lift station must be situated on city-owned property, ideally a 50x50-foot lot along a common property line.

Mr. Randall also addressed concerns related to the Southeast Bypass realignment. The current proposed route passes through the subdivision, meaning approval as drawn would require relocating the bypass to follow Landfill Road. He highlighted challenges with this alternative, including existing Xcel power lines and proximity to the landfill, which cannot be encroached upon. Although the Landfill Road route was previously considered, it was not chosen due to existing developments. The original plan required acquiring fewer properties than the proposed alternative.

Mr. Randall recommended that final approval be contingent on addressing City staff comments. If developers disagree with any recommendations, they will need to bring those concerns back for further review. He also noted that the developer is considering aerial utilities for electricity and communication. Additionally, Texas Street requires a 60-foot right-of-way, as it may eventually function as a residential collector road.

Mr. Randall emphasized that the current focus is on Unit 1. The Planning Board is reviewing the preliminary plat for approval, with remaining infrastructure concerns, such as the lift station and bypass alignment, which is to be addressed in future phases.

Following a lengthy discussion, Mr. Kesner made a motion to approve the South 40 Subdivision with additional comments from City staff. Mr. Ramirez seconded the motion. The vote on the motion was 4-0 and the vote passed.

Discussion Items:

- 6) Review and Consider the ICIP deadlines for the 2027-2031 submission is due by July 11th, 2025.**

Mr. Anthony Henry, City Engineer, introduced the discussion item on the ICIP deadline, noting that it is for informational purposes. He explained that last year was the first time the timeline shifted from September to July. Mr. Henry outlined the key dates for the ICIP process, stating that the list will be presented to the Commission on June 16, with the completion of data entry by July 3 and the final submission due on July 11. He then presented last year's projects for reference. Mr. Henry stated that the ICIP list will be presented to the Planning Board at the April meeting, with a vote scheduled for May 20.

- 7) Review and Consider the proposed Drive-Thru and Vehicle Stacking Ordinance to be added to the City of Hobbs Municipal Code.**

Ms. Seepersad stated this is the proposed Drive-Through and Vehicle Stacking Ordinance, explaining that the City currently does not have regulations in place for drive-throughs. Given the rise in commercial development and the increasing number of businesses incorporating drive-through services, staff is proposing a draft ordinance to establish requirements for vehicle stacking and drive lane widths. Ms. Seepersad stated the proposed ordinance would amend the municipal code to include minimum stacking space requirements based on the type of commercial property. Additionally, it recommends a 12-foot-wide driving lane for each drive-through.

Ms. Seepersad also discussed the importance of reviewing turning radius and determining whether buffering or landscaping should be required, particularly for properties adjacent to residential areas. The proposal includes stacking spaces that are 20 feet long and 8 feet wide. Regarding minimum stacking requirements, Ms. Seepersad stated that restaurant pickup windows would require at least six stacking spaces, while retail stores would require a minimum of three. These recommendations are based on a review of regulations from Albuquerque, Santa Fe, and other cities within and outside New Mexico.

Ms. Seepersad discussed that the main concern is ensuring consistency in width requirements. Currently, the draft states that stacking spaces should be 8 feet wide, while drive-through lanes must be 12 feet wide. She stated the widths may need to be standardized.

Mr. Kesner discussed bank teller lines, electronic banking has reduced traffic at these locations. He recommended consulting with local banks to determine whether the proposed four-space requirement is still necessary.

Mr. Hicks requested clarification on Item IV under vehicle stacking spaces, which states that stacking spaces "cannot be used as any off-street or loading requirements." He asked whether this should reference off-street parking. Ms. Seepersad confirmed that it should. Mr. Hicks also asked if the draft for drive-up facilities requires a buffer (either a wall or landscaping) when adjacent to a public roadway or residential area to mitigate noise from automated order systems. He stated other municipalities require a 50-foot separation for this reason. After a brief discussion, Mr. Hicks suggested a 3-foot wall or landscape buffer could be a better option, preventing excessive visual obstruction while still addressing headlight glare and noise.

Mr. Hicks suggested reviewing existing drive-through layouts to see how they align with the proposed ordinance. Mr. Randall noted that franchise developments typically do not encounter issues, as they often follow pre-approved designs.

8) Review and Consider the proposed Xcel Substation locations within the City of Hobbs.

Mr. Henry stated that Xcel contacted city staff to request input on potential substation locations. In response, city staff overlaid their request onto the master plan for the Aljo development. Mr. Henry stated Xcel has a main transmission line running along Glorietta and a transmission substation on the east side of Navajo. However, this would be a distribution substation designed to power future development in the area. They are seeking the Planning Board's input on possible locations, special requirements, buffering, and other considerations.

Mr. Hicks asked if there is an ordinance that specifically addresses buffering for this type of public infrastructure. In response, Mr. Randall clarified there is not an ordinance for this type of public infrastructure. Mr. Hicks mentioned that in larger cities like Lubbock or Amarillo, substations of this nature are typically surrounded by large walls to buffer the view and provide safety measures, particularly in residential areas.

In response to Mr. Hicks question, Mr. Henry stated that Aljo owns the land in question. Initially, Xcel was considering a square-shaped area, but Aljo has since suggested a triangular

piece along the Navajo frontage. Mr. Henry stated discussions are still ongoing to determine whether this location can accommodate the substation's size requirements.

In response to Mr. Ramirez's question regarding the land size, Mr. Henry stated the exact measurements haven't been finalized yet, but typically, distribution substations require about one to two acres. Mr. Hicks commented that the fenced area will be smaller than the total property, and they need additional space for supporting infrastructure, such as power lines.

Mr. Hicks expressed that he supports Aljo's request to relocate the substation to that area. He stated a location along a bypass-type thoroughfare is preferable to placing it in the middle of a residential neighborhood. Additionally, he suggested recommending walls and buffering for aesthetic and safety reasons. Mr. Kesner agreed.

Adjournment

The meeting adjourned at 11:24 a.m.

W.M. Tres Hicks, Chairman

Review and Approve the RV Park Map Amendment for a proposed RV Park located at the intersection of Byers Street and Donohue Avenue.



CITY OF HOBBS

PLANNING BOARD STAFF SUMMARY FORM

MEETING DATE: APRIL 15TH, 2025

SUBJECT: REVIEW AND APPROVE THE RV PARK MAP AMENDMENT FOR A PROPOSED RV PARK LOCATED AT THE INTERSECTION OF BYERS STREET AND DONOHUE AVENUE.

DEPT. OF ORIGIN: Planning Department
DATE SUBMITTED: April 10th, 2025
SUBMITTED BY: Kristalyn Seepersad, Planning Project Manager

Summary:

The Property Owner is requesting approval for a map amendment to add an RV Park on Byers Street off Donohue Avenue. The land is approximately 1.16 Acres.

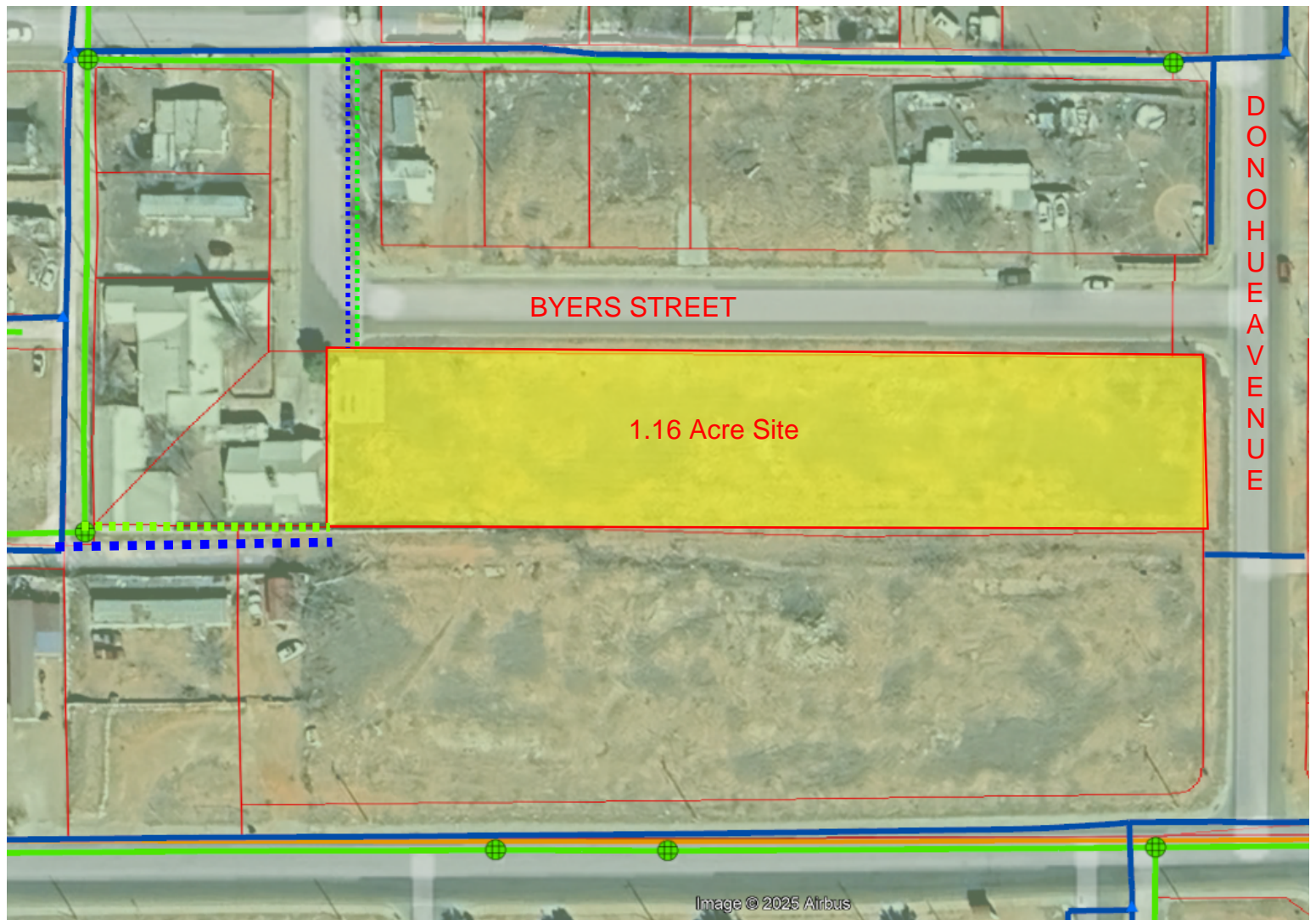
Staff Recommendations:

Planning Department:

Staff has no objections to these documents. Staff recommends the Board considers approval/denial for the attached documents.

Attachments:

- Site Location
- Newspaper Notice
- Public Notice



- OWNER WOULD LIKE TO CREATE AN RV PARK
- POSSIBLE CONNECTION TO CITY WATER AND SEWER
- MAP AMENDMENT TO GO TO APRIL 15TH PLANNING BOARD FOR APPROVAL
- SURVEY AND ENGINEERED PLANS ARE REQUIRED FOR CONSTRUCTION

Affidavit of Publication

STATE OF NEW MEXICO
COUNTY OF LEA

I, Daniel Russell, Publisher of the Hobbs News-Sun, a newspaper published at Hobbs, New Mexico, solemnly swear that the clipping attached hereto was published in the regular and entire issue of said newspaper, and not a supplement thereof for a period of 1 issue(s).

Beginning with the issue dated
April 03, 2025
and ending with the issue dated
April 03, 2025.



Publisher

Sworn and subscribed to before me this
3rd day of April 2025.



Business Manager

My commission expires
January 29, 2027



This newspaper is duly qualified to publish legal notices or advertisements within the meaning of Section 3, Chapter 167, Laws of 1937 and payment of fees for said publication has been made.



67108146

00299769

CITY OF HOBBS FINANCE DEPT
200 E. BROADWAY ST
HOBBS, NM 88240

Review and Approve the RV Park Map Amendment for a proposed RV Park located off of North Grimes Street.



CITY OF HOBBS

PLANNING BOARD STAFF SUMMARY FORM

MEETING DATE: APRIL 15TH, 2025

SUBJECT: REVIEW AND APPROVE THE RV PARK MAP AMENDMENT FOR A PROPOSED RV PARK LOCATED OFF OF NORTH GRIMES STREET.

DEPT. OF ORIGIN: Planning Department
DATE SUBMITTED: April 10th, 2025
SUBMITTED BY: Kristalyn Seepersad, Planning Project Manager

Summary:

The Property Owner is requesting approval for a map amendment to add an RV Park located at 1901 N Grimes Streets. The land is approximately 5.16 Acres and would like to be used for private use.

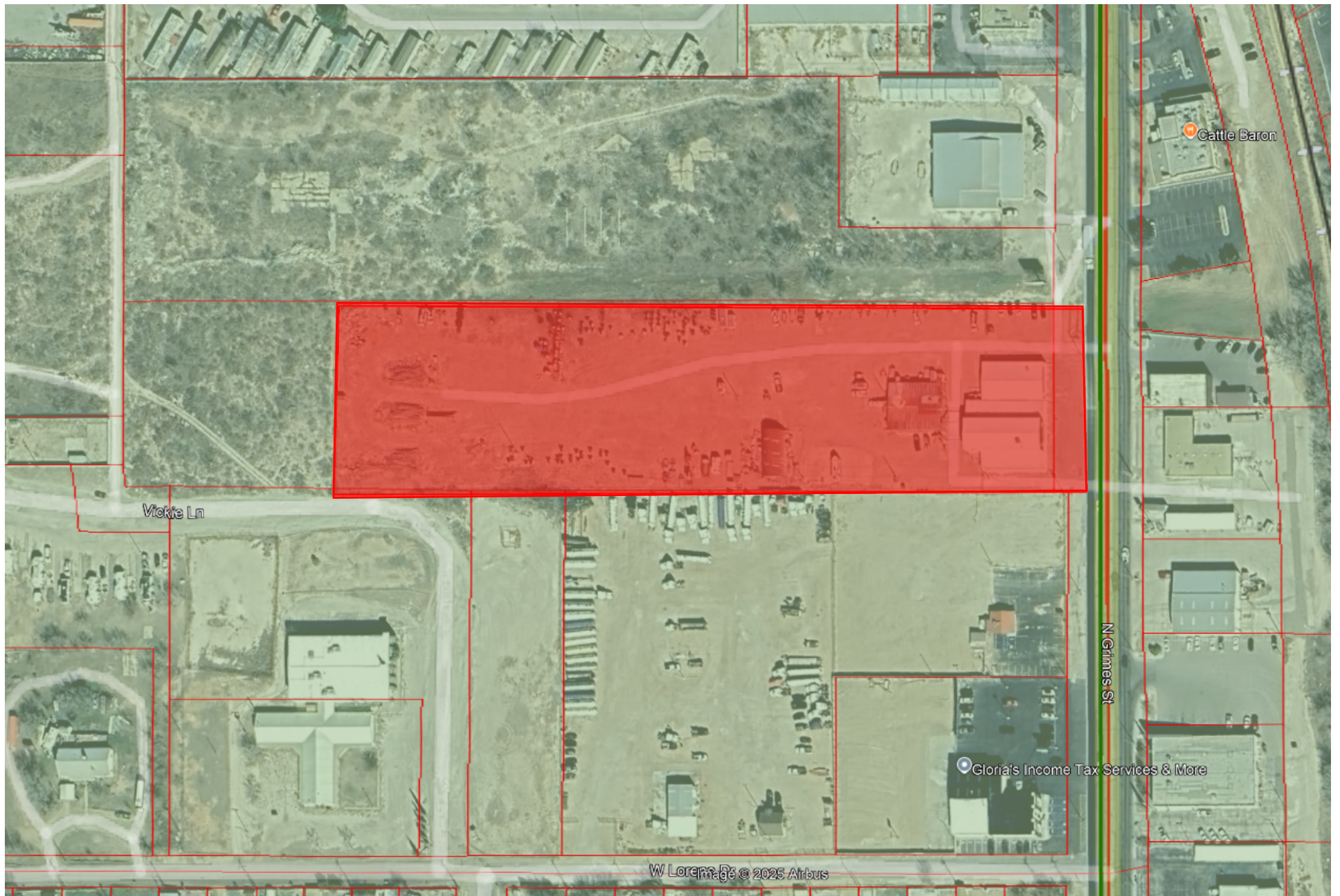
Staff Recommendations:

Planning Department:

Staff has no objections to these documents. Staff recommends the Board considers approval/denial for the attached documents.

Attachments:

- Site Location
- Newspaper Notice
- Public Notice



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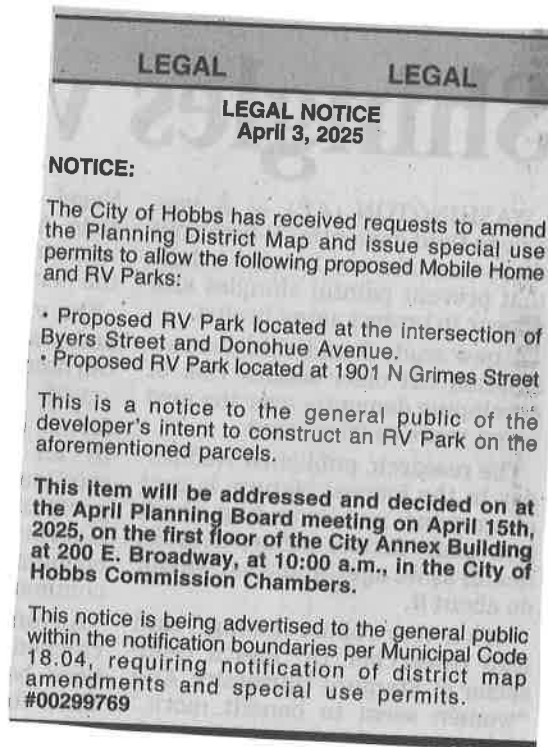


Business Manager

My commission expires
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67108146

00299769

CITY OF HOBBS FINANCE DEPT
200 E. BROADWAY ST
HOBBS, NM 88240

Review and Approve a variance for an existing carport located at 218 W Gypsy Street.



CITY OF HOBBS

PLANNING BOARD STAFF SUMMARY FORM

MEETING DATE: APRIL 15TH, 2025

SUBJECT: REVIEW AND APPROVE A VARIANCE FOR AN EXISTING CARPORT LOCATED AT 218 W. GYPSY STREET.

DEPT. OF ORIGIN: Planning Department
DATE SUBMITTED: April 10th, 2025
SUBMITTED BY: Kristalyn Seepersad, Planning Project Manager

Summary:

The Property Owner received a red tag for an existing carport located at the front of his property. The carport begins approximately 8' from the back of the curb. The Property Owner has stated that they are willing to move the carport further back into their property to meet their property line. The property is located in an oversized right-of-way with would require a building setback of 25' from the back of curb.

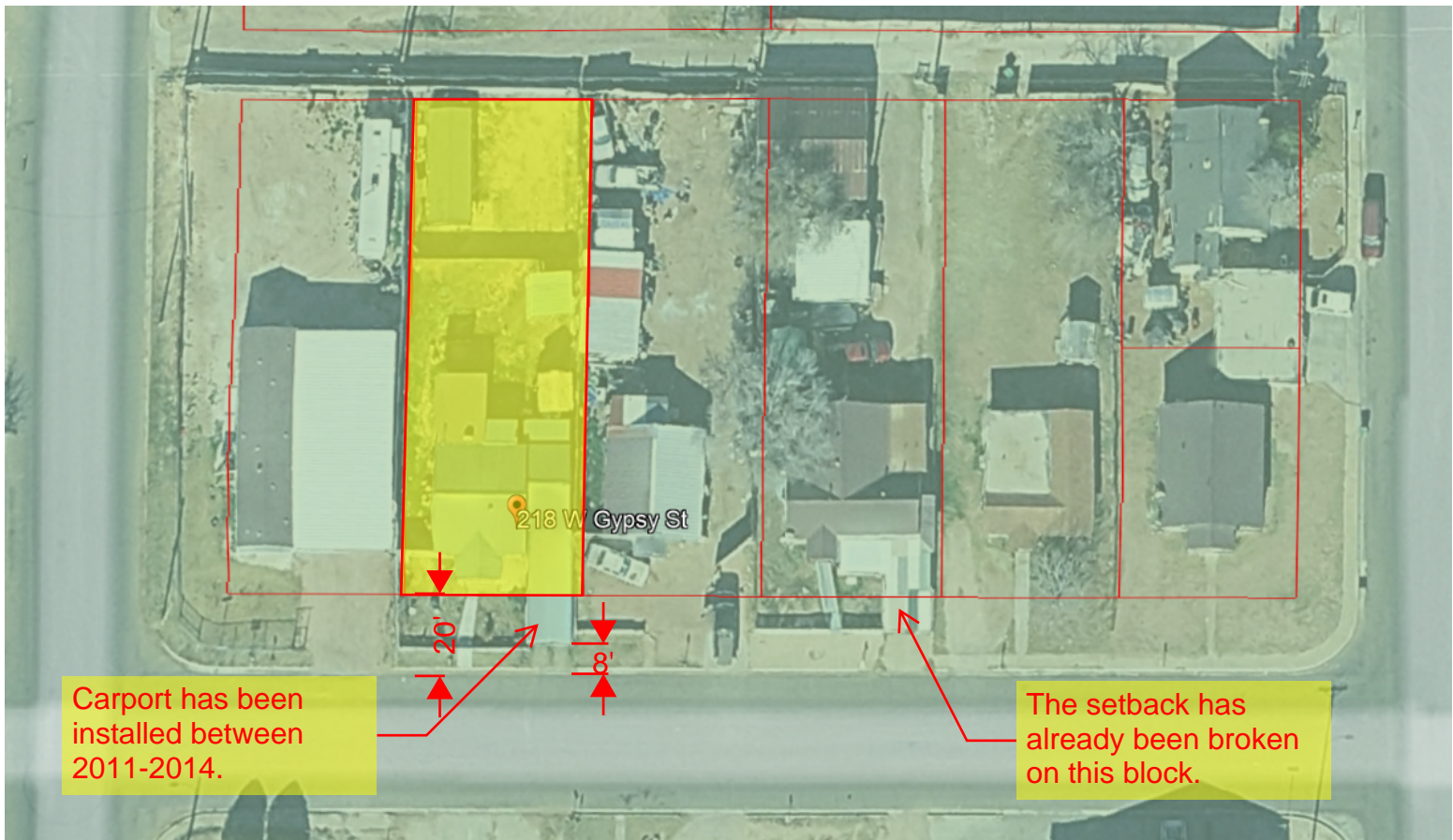
Staff Recommendations:

Planning Department:

Staff has no objections to these documents. Staff recommends the Board considers approval/denial for the attached documents.

Attachments:

- Site Location



Carport has been installed between 2011-2014.

The setback has already been broken on this block.

Review and Approve a proposed subdivision of 4 lots located at the intersection of Byers Street and Cochran Street.



CITY OF HOBBS

PLANNING BOARD STAFF SUMMARY FORM

MEETING DATE: APRIL 15TH, 2025

SUBJECT: REVIEW AND APPROVE A PROPOSED SUBDIVISION OF 4 LOTS LOCATED AT THE INTERSECTION OF BYERS STREET AND COCHRAN STREET.

DEPT. OF ORIGIN: Planning Department
DATE SUBMITTED: April 10th, 2025
SUBMITTED BY: Kristalyn Seepersad, Planning Project Manager

Summary:

The Property Owner is requesting to create a 4-lot subdivision off of Cochran Street. The Property Owner would enter into an infrastructure development agreement with the City of Hobbs to extent a 6' water line from the alley to the end of the property.

Staff Recommendations:

Planning Department:

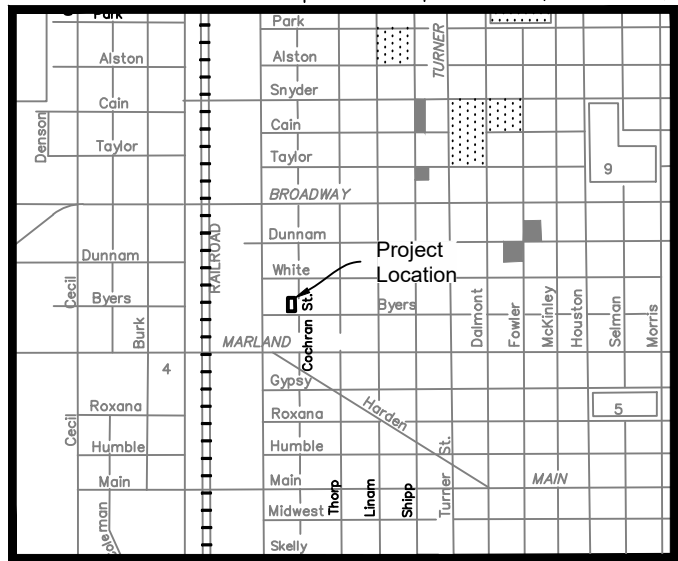
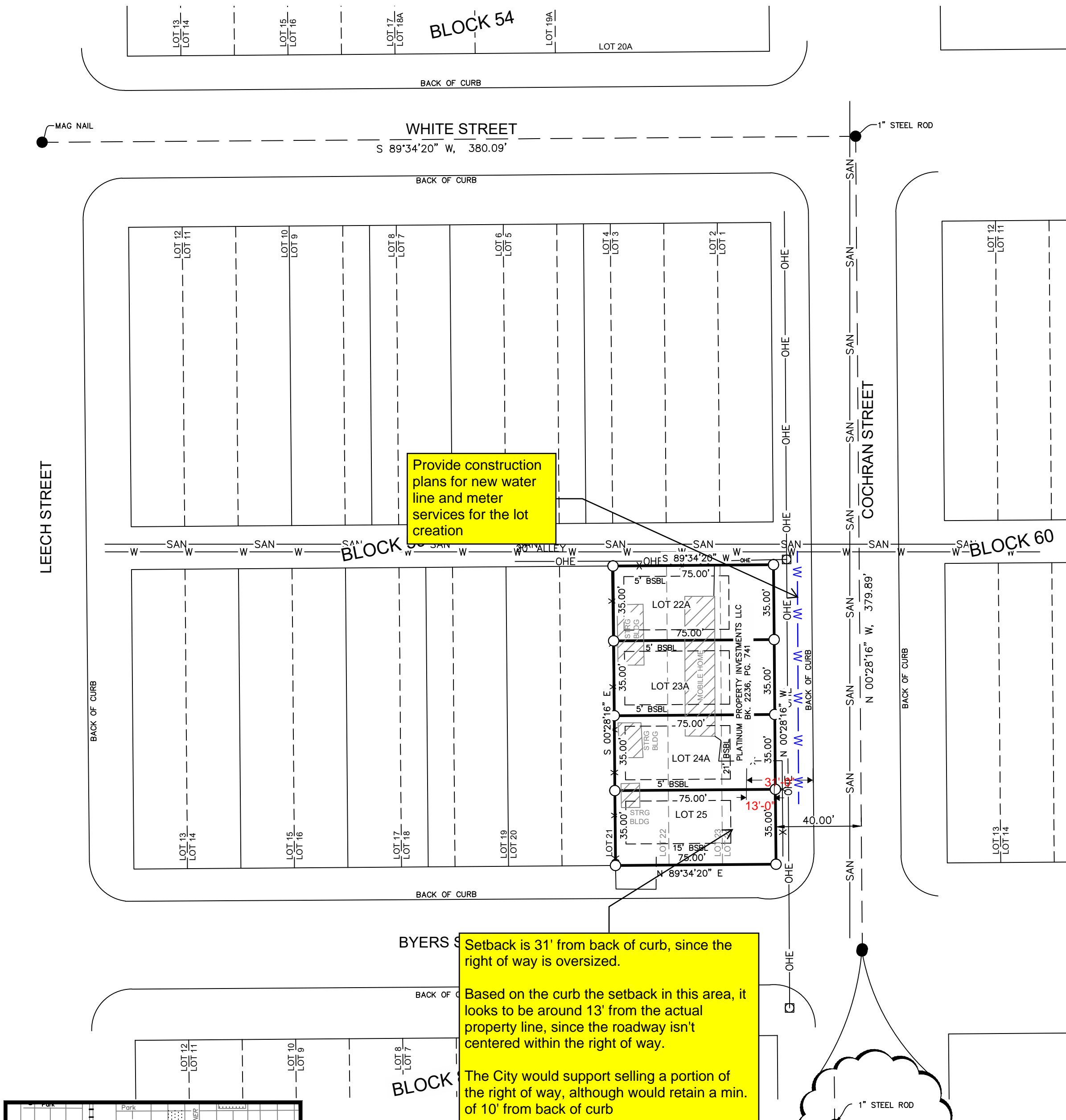
Staff has no objections to these documents. Staff recommends the Board considers approval/denial for the attached documents.

Attachments:

- Plat

REPLAT OF LOTS 22-24, BLOCK 59, ORIGINAL HOBBS ADDITION,
CITY OF HOBBS, LEA COUNTY, NEW MEXICO.

REPLAT OF LOTS 22, 23, AND 24, BLOCK 59 INTO LOTS 22A, 23A, 24A, AND 25, BLOCK 59,
ORIGINAL HOBBS ADDITION, CITY OF HOBBS, LEA COUNTY, NEW MEXICO



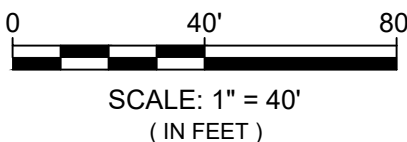
NOTES:
1) DATE OF SURVEY: MARCH 22, 2025
2) STRUCTURES SHOWN HEREON TO BE REMOVED.

BASIS OF BEARING

BEARINGS SHOWN HEREON ARE FROM GPS/GNSS OBSERVATIONS AND CONFORM TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM "NEW MEXICO EAST ZONE" NORTH AMERICAN DATUM OF 1983. TRUE NORTH CAN BE OBTAINED BY APPLYING A CONVERGENCE ANGLE OF 00°38'39.41" AT A FOUND 5/8" INCH REBAR AT THE INTERSECTION OF WHITE STREET AND COCHRAN STREET LOCATED AT N 620,049.10, E 908,176.64. DISTANCES SHOWN HEREON ARE IN GROUND AND WERE OBTAINED BY APPLYING A COMBINED GRID TO GROUND SCALE FACTOR OF 1.0001136300 AT N 0.00, E 0.00.



GRAPHIC SCALE



OWNERS STATEMENT AND AFFIDAVIT

STATE OF NEW MEXICO:
COUNTY OF LEA:

THE UNDERSIGNED FIRST DULY SWORN ON OATH, STATE: ON BEHALF OF THE OWNERS AND PROPRIETORS WE HAVE OF OUR OWN FREE WILL AND CONSENT CAUSED THIS PLAT WITH ITS TRACTS TO BE PLATTED. THE PROPERTY DESCRIBED ON THIS PLAT LIES WITHIN THE PLATTING JURISDICTION OF THE CITY OF HOBBS.

BY _____
FERNANDO SALAZAR, FOR PLATINUM PROPERTY INVESTMENTS, LLC
(BOOK 2236, PAGE 741)

ACKNOWLEDGMENT

STATE OF NEW MEXICO:
COUNTY OF LEA:

ON THIS _____ DAY OF _____, 2025, BEFORE ME, FERNANDO SALAZAR TO ME KNOWN TO BE THE PERSON(S) DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THAT THEY EXECUTED THE SAME AS THEIR FREE ACT AND DEED.

WITNESS MY HAND AND OFFICIAL SEAL THE DAY AND YEAR LAST ABOVE WRITTEN.

NOTARY PUBLIC

CERTIFICATE OF APPROVAL
BY THE CITY PLANNING BOARD:

THE PLAT, RESTRICTIONS AND DEDICATION APPROVED AND ACCEPTED THIS _____ DAY OF _____, 2025 A.D. BY THE CITY OF HOBBS PLANNING AND ZONING BOARD, LEA COUNTY, NEW MEXICO.

CHAIRMAN

ACKNOWLEDGMENT

STATE OF NEW MEXICO:
COUNTY OF LEA:

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2025.
BY WILLIAM M. HICKS, III

NOTARY PUBLIC

CERTIFICATE OF MUNICIPAL APPROVAL

I, JAN FLETCHER, THE DULY APPOINTED AND ACTING CITY CLERK OF THE CITY OF HOBBS, LEA COUNTY, NEW MEXICO, DO HEREBY CERTIFY THAT THE FOREGOING REPLAT IN THE CITY OF HOBBS, WAS APPROVED BY THE COMMISSION OF THE CITY OF HOBBS BY RESOLUTION No. _____ ON THE _____ DAY OF _____, 2025 A.D.

JAN FLETCHER, CITY CLERK

ACKNOWLEDGMENT:
STATE OF NEW MEXICO
COUNTY OF LEA

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2023.
BY JAN FLETCHER.

NOTARY PUBLIC

SURVEYOR CERTIFICATION

I, EVAN J. POINTER, NEW MEXICO PROFESSIONAL SURVEYOR NO. 29968, DO HEREBY CERTIFY THAT THIS SURVEY PLAT AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WERE PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION; THAT I AM RESPONSIBLE FOR THIS SURVEY; THAT THIS SURVEY MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO; AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

EVAN J. POINTER, N.M.P.S. 29968

DATE



7921 N World Dr.
Hobbs, NM 88242-9032
Squarerootservices.net
575-231-7347

TYPE OF SURVEY:

REPLAT

PROJECT NAME:

COCHRAN STREET
REPLAT

CLIENT:

FERNANDO SALAZAR
PLATINUM PROPERTY INVESTMENTS LLC

PROJECT NUMBER:

25083

PROJECT SURVEYOR:

Evan J. Pointer, PS

DRAWN BY:

Kendall Goad

INDEXING INFORMATION
FOR COUNTY CLERK

OWNER:

Platinum Property Investments LLC

LOCATION:

Lot 22, 23, and 24, Block 59,
Original Hobbs Addition, City of Hobbs,
Lea County, New Mexico

State of New Mexico, County of Lea, I here by
certify that this instrument was filed for record on:

LEGEND

- Found Monument as noted
- Set 5/8" rebar w/ cap or nail w/ washer marked "POINTER PS 29968" unless noted otherwise
- Power pole
- Water Meter
- × × Fence Line
- OHE— Overhead Electric Line
- W— Water Line
- SAN— Sewer Line
- BSBL— Building Setback Line

SHEET:

1 of 1

SU - 101

Review and Approve a proposed subdivision plat to combine lots and vacate an easement located at 405 E Navajo Drive.



CITY OF HOBBS

PLANNING BOARD STAFF SUMMARY FORM

MEETING DATE: APRIL 15TH, 2025

SUBJECT: REVIEW AND APPROVE THE PROPOSED SUBDIVISION PLAT TO COMBINE LOTS AND VACATE AN EASEMENT LOCATED AT 405 E NAVAJO DRIVE.

DEPT. OF ORIGIN: Planning Department
DATE SUBMITTED: April 10th, 2025
SUBMITTED BY: Kristalyn Seepersad, Planning Project Manager

Summary:

The Property Owner is requesting to combine Tracts one and two located off Navajo Drive. There is a 60' utility service easement located in the middle of the two lot that the owner would like to vacate.

Staff Recommendations:

Planning Department:

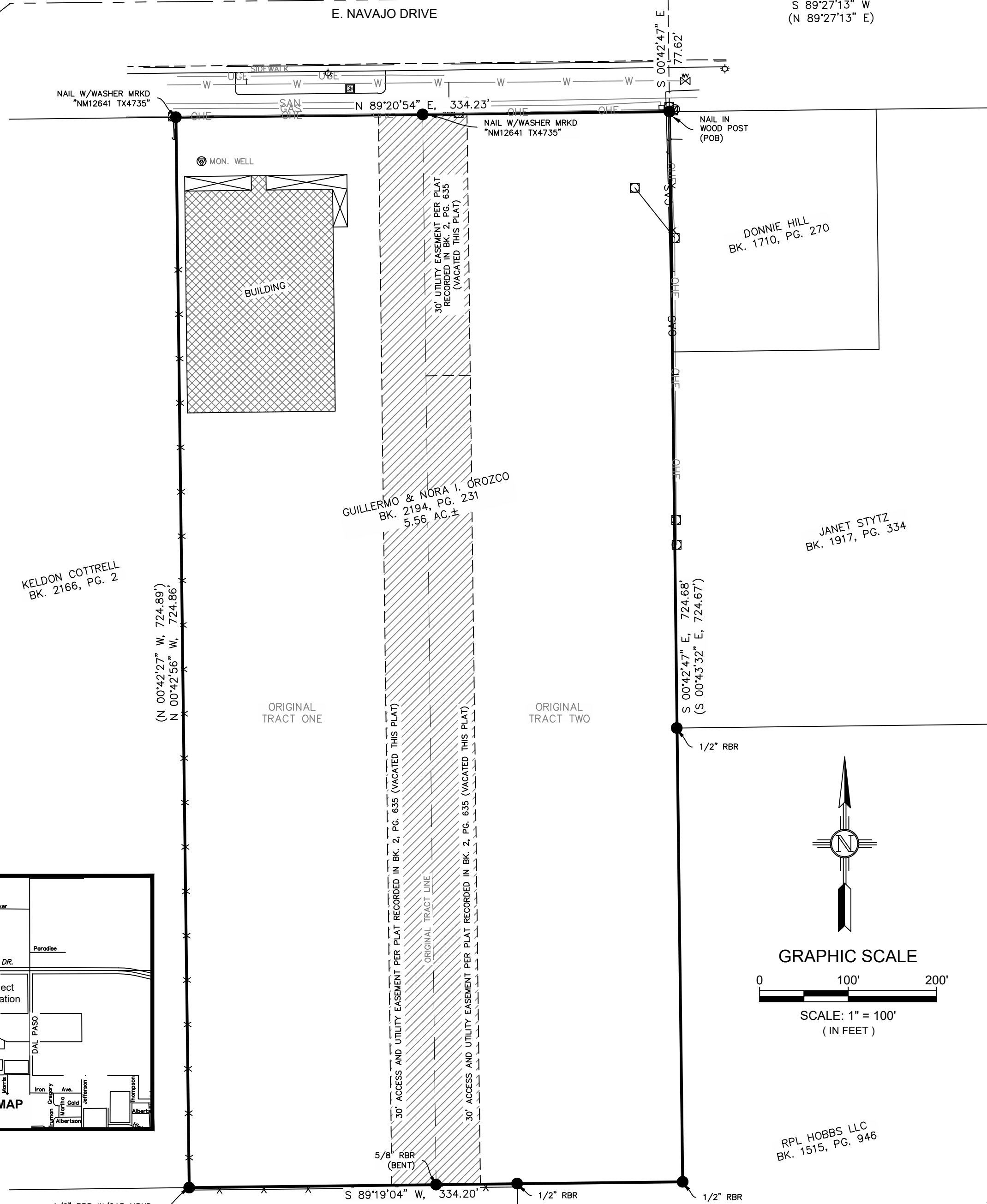
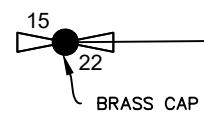
Staff has no objections to these documents. Staff recommends the Board considers approval/denial for the attached documents.

Attachments:

- Site Plan

REPLAT - CITY OF HOBBS

REPLAT TO COMBINE TWO TRACTS OF LAND AND VACATE EASEMENTS AS SHOWN ON THAT CERTAIN SUMMARY
SUBDIVISION PLAT FILED MAY 4, 2020 IN BOOK 2, PAGE 635, LEA COUNTY RECORDS, LEA COUNTY, NEW MEXICO,
LOCATED IN THE NORTHEAST QUARTER (NE/4) OF SECTION 22, TOWNSHIP 18 SOUTH, RANGE 38 EAST,
N.M.P.M., CITY OF HOBBS, LEA COUNTY, NEW MEXICO.



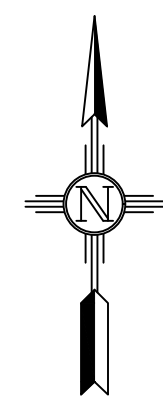
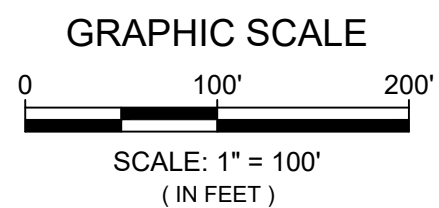
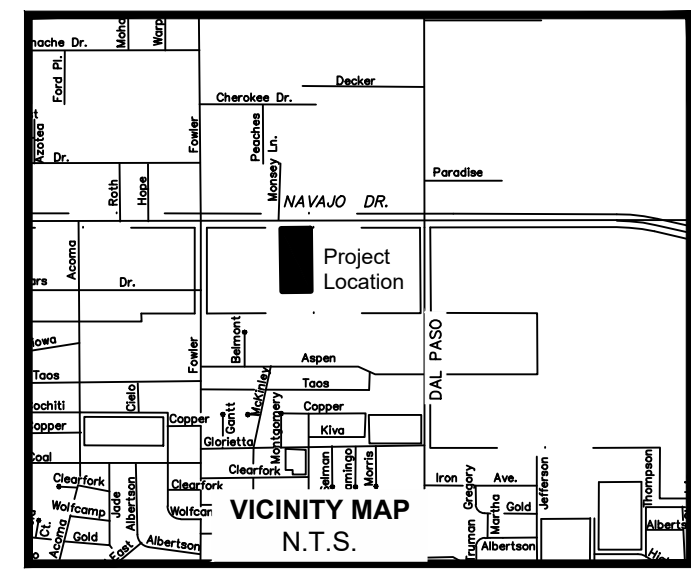
KELDON COTTRELL
BK. 2166, PG. 2

GUILLERMO & NORA I. OROZCO
BK. 2194, PG. 231
5.56 AC. ±

DONNIE HILL
BK. 1710, PG. 270

JANET STYTZ
BK. 1917, PG. 334

RPL HOBBS LLC
BK. 1515, PG. 946



BASIS OF BEARING
BEARINGS SHOWN HEREON ARE FROM GPS/GNSS OBSERVATIONS AND CONFORM TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM "NEW MEXICO EAST ZONE" NORTH AMERICAN DATUM OF 1983. TRUE NORTH CAN BE OBTAINED BY APPLYING A CONVERGENCE ANGLE OF 00°38'57.89" AT A FOUND MAG NAIL WITH WASHER MARKED "NM 12641 TX 4735" FOR THE NORTHWEST CORNER OF TRACT ONE, LOCATED AT N 635,107.01, E 910,512.79. DISTANCES SHOWN HEREON ARE IN GROUND AND WERE OBTAINED BY APPLYING A COMBINED GRID TO GROUND SCALE FACTOR OF 1.0001136300 AT N 0.00, E 0.00.

LEGAL DESCRIPTION

A TRACT OF LAND LOCATED IN THE NORTHEAST QUARTER (NE/4) OF SECTION 22, TOWNSHIP 18 SOUTH, RANGE 38 EAST, N.M.P.M., CITY OF HOBBS, LEA COUNTY, NEW MEXICO AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A NAIL IN WOOD POST FOUND ON THE SOUTH RIGHT OF WAY LINE OF E. NAVAJO DRIVE FOR THE NORTHEAST CORNER OF THIS TRACT WHICH LIES S.89°27'13"W. ALONG THE NORTH LINE OF SAID SECTION, A DISTANCE OF 1320.15 FEET AND S.00°42'47"E., 77.62 FEET FROM A BRASS CAP IN CONCRETE FOUND FOR THE NORTHEAST CORNER OF SAID SECTION 22; THENCE S.00°42'47"E., 724.68 FEET TO A 1/2" REBAR FOUND FOR THE SOUTHEAST CORNER OF THIS TRACT; THENCE S.89°19'04"W., 334.20 FEET TO A 5/8" REBAR WITH CAP MARKED "JWSC PS 12641" FOUND FOR THE SOUTHWEST CORNER OF THIS TRACT; THENCE N.00°42'56"W., 724.86 FEET TO A MAG NAIL MARKED "NM 12641 TX 4735" FOUND ON THE SOUTH RIGHT OF WAY LINE OF E. NAVAJO DRIVE FOR THE NORTHWEST CORNER OF THIS TRACT; THENCE N.89°20'54"E. ALONG SAID SOUTH RIGHT OF WAY LINE, A DISTANCE OF 334.23 FEET TO THE POINT OF BEGINNING. SAID TRACT OF LAND CONTAINING 5.56 ACRES, MORE OR LESS.

OWNERS STATEMENT AND AFFIDAVIT

STATE OF NEW MEXICO
COUNTY OF LEA

THE UNDERSIGNED FIRST DULY SWORN ON OATH, STATE: ON BEHALF OF THE OWNERS AND PROPRIETORS WE HAVE OF OUR OWN FREE WILL AND CONSENT CAUSED THIS PLAT WITH ITS TRACTS TO BE PLATTED. THE PROPERTY DESCRIBED ON THIS PLAT LIES WITHIN THE PLATTING JURISDICTION OF LEA COUNTY.

BY _____
GUILLERMO OROZCO
(BOOK 2194, PAGE 231)

BY _____
NORA I. OROZCO
(BOOK 2194, PAGE 231)

ACKNOWLEDGMENT

STATE OF NEW MEXICO
COUNTY OF LEA

ON THIS _____ DAY OF _____, 2025, BEFORE ME, GUILLERMO AND NORA I. OROZCO TO ME KNOWN TO BE THE PERSON(S) DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THAT THEY EXECUTED THE SAME AS THEIR FREE ACT AND DEED.

WITNESS MY HAND AND OFFICIAL SEAL THE DAY AND YEAR LAST ABOVE WRITTEN.

NOTARY PUBLIC

CERTIFICATE OF APPROVAL

BY THE CITY PLANNING BOARD:

THE PLAT, RESTRICTIONS, AND VACATION APPROVED AND ACCEPTED THE _____ DAY OF _____, 2025 A.D. BY THE CITY PLANNING AND ZONING BOARD OF HOBBS, NEW MEXICO.

CHAIRMAN: WILLIAM M. HICKS, III

ACKNOWLEDGMENT:

STATE OF NEW MEXICO
COUNTY OF LEA

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2025.
BY WILLIAM M. HICKS, III

NOTARY PUBLIC

CERTIFICATE OF MUNICIPAL APPROVAL

I, JAN FLETCHER, THE DULY APPOINTED AND ACTING CITY CLERK OF THE CITY OF HOBBS, LEA COUNTY, NEW MEXICO, DO HEREBY CERTIFY THAT THE FOREGOING REPLAT, TO THE CITY OF HOBBS, WAS APPROVED BY THE COMMISSION OF THE CITY OF HOBBS BY RESOLUTION No. _____ ON THE _____ DAY OF _____, 2025 A.D.

JAN FLETCHER, CITY CLERK

ACKNOWLEDGMENT:

STATE OF NEW MEXICO
COUNTY OF LEA

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2025.
BY JAN FLETCHER.

NOTARY PUBLIC



I, EVAN POINTER, NEW MEXICO PROFESSIONAL SURVEYOR NO. 29968, DO HEREBY CERTIFY THAT THIS BOUNDARY SURVEY PLAT AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WERE PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION; THAT I AM RESPONSIBLE FOR THIS SURVEY; THAT THIS SURVEY MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO; AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

EVAN J. POINTER, P.S. 29968

DATE



7921 N World Dr.
Hobbs, NM 88242-9032
Squarerootservices.net
575-231-7347

TYPE OF SURVEY:

REPLAT OF
TRACTS A & B

PROJECT NAME:

OROZCO REPLAT

CLIENT:

GUILLERMO OROZCO

PROJECT NUMBER:

25108

PROJECT SURVEYOR:

Evan J. Pointer, PS

DRAWN BY:

Kendall Goad

INDEXING INFORMATION FOR COUNTY CLERK

OWNER:

Guillermo & Nora I. Orozco

LOCATION:

NE/4 of Section 22,
Township 18 South, Range 38 East, N.M.P.M.,
City of Hobbs, Lea County, New Mexico

State of New Mexico, County of Lea, I here by
certify that this instrument was filed for record on:

LEGEND

- Set 5/8 inch rebar w/ cap or nail w/ washer marked "POINTER PS 29968" unless otherwise noted
- Found monument as noted
- Utility Pole
- ☆ Light Pole
- Ⓜ Gas Meter
- Ⓦ Water Meter
- X—X— Fence
- O—H— O-H Electric Line
- U—G— Underground Electric Line
- G—A—S— Underground Gas Line
- S—A—N— Sewer Line
- W— Underground Water Line
- Adjoining Lot Lines
- Existing Structure
- Easement vacated this plat
- XX°XX'XX" XX.XX' Measured bearing and distance
- (XX°XX'XX", XX.XX') Record bearing and distance

Related Project # 25001

SHEET:
1 of 1

SU - 101

Review and Approve the Final Plat for The Meadows V Subdivision.



CITY OF HOBBS

PLANNING BOARD STAFF SUMMARY FORM

MEETING DATE: APRIL 15TH, 2025

SUBJECT: REVIEW AND APPROVE THE FINAL PLAT FOR THE MEADOWS V SUBDIVISION.

DEPT. OF ORIGIN: Planning Department
DATE SUBMITTED: April 10th, 2025
SUBMITTED BY: Kristalyn Seepersad, Planning Project Manager

Summary:

The Developer is requesting final plat approval for The Meadows V Subdivision.

Staff Recommendations:

Planning Department:

Staff has no objections to these documents. Staff recommends the Board considers approval/denial for the attached documents.

Attachments:

- Final Plat

P:\PROJECTS\2023\23056\CADD\SHEETS\CONST PLANS\CONST PLAN SET\1_CEN\23056-GEN.dwg May 23, 2024 - 3:20pm

GENERAL NOTES:

1. ALL IMPROVEMENTS, UNLESS OTHERWISE MODIFIED IN THE PROJECT SPECIFICATIONS, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APWA NEW MEXICO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION, EXCEPT WHERE OTHERWISE NOTED IN THE DRAWINGS.
2. STANDARD DRAWINGS: REFER TO STANDARD DRAWINGS FOR THE NEW MEXICO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION UNLESS OTHERWISE NOTED.
3. THE CONTRACTOR AGREES THAT HE/SHE SHALL ASSUME THE SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF PROJECT CONSTRUCTION, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.
4. NO CHANGES SHALL BE MADE TO THESE PLANS WITHOUT THE WRITTEN APPROVAL OF THE OWNER, ENGINEER AND ALL APPROVAL SIGNATORIES. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION METHODS OR TECHNIQUES OR FOR THE PROSECUTION OF THE WORK AS SHOWN ON THESE PLANS. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR OTHER PERSONS PERFORMING ANY OF THE WORK OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH CONTRACT DOCUMENTS.
5. UNLESS OTHERWISE PROVIDED AS PART OF THE CONSTRUCTION PLANS, A COMPLETE TRAFFIC CONTROL PLAN SHALL BE PREPARED BY THE CONTRACTOR WHEN ANY PORTION OF THE WORK IS IN THE PUBLIC RIGHT-OF-WAY OR AFFECTING ON-SITE VEHICLE OR PEDESTRIAN CIRCULATION. ALL CONSTRUCTION SIGNING, BARRICADING AND CHANNELIZATION SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) LATEST EDITION. THE PLAN SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FOR ON-SITE CONSTRUCTION. TRAFFIC CONTROL WITHIN THE CITY/COUNTY RIGHT-OF-WAY SHALL DEFAULT TO THE CITY/COUNTY TRAFFIC DEPARTMENT FOR APPROVAL. THE CONTRACTOR SHALL NOT IMPLEMENT THE TRAFFIC CONTROL PLAN UNTIL APPROVAL OF THE PLAN HAS BEEN RECEIVED FROM THE ENGINEER. THE TRAFFIC CONTROL PLAN SHALL BE SUBMITTED TO AND APPROVED BY THE CITY OR ENGINEER.
6. THE CONTRACTOR SHALL DESIGNATE AT LEAST ONE EMERGENCY CONTACT PERSON, AND SHALL PROVIDE TELEPHONE NUMBERS WHERE THIS PERSON CAN BE CONTACTED AT ANY TIME, INCLUDING WEEKENDS, HOLIDAYS AND AFTER HOURS. THIS INFORMATION SHALL BE PROVIDED TO THE OWNER AND THE ENGINEER.
7. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS FROM ALL JURISDICTIONAL AUTHORITIES PRIOR TO START OF CONSTRUCTION. PERMIT COSTS ARE INCIDENTAL TO BASE BID.
8. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY, HEALTH, AND ENVIRONMENTAL PROTECTION.
9. EXISTING SITE IMPROVEMENTS WHICH ARE DAMAGED OR DISPLACED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S OWN EXPENSE. REPAIRS SHALL BE APPROVED BY THE OWNER PRIOR TO CONSTRUCTION OF THE REPAIRS. REPAIRS SHALL BE ACCEPTED BY THE OWNER PRIOR TO FINAL PAYMENT.
10. THE CONTRACTOR SHALL USE THE DESIGNATED STAGING AREAS FOR STORAGE OF EQUIPMENT AND MATERIAL. NO MATERIAL OR EQUIPMENT MAY BE STORED OR LEFT ON-SITE AT ANY OTHER LOCATION. THE OWNER ASSUMES NO LIABILITY FOR CONTRACTOR'S EQUIPMENT AND MATERIAL IN THE STAGING AREA. SECURITY SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. IF NO STAGING AREA IS DESIGNATED ON THESE PLANS, AN OFF-SITE STAGING AREA SHALL BE PROVIDED AT THE CONTRACTOR'S EXPENSE, OR THE CONTRACTOR MAY NEGOTIATE WITH THE OWNER TO USE AN ON-SITE AREA. OWNER WILL HAVE A STAGING AREA DESIGNATED.
11. ALL STATIONING REFERS TO THE CENTERLINE OF THE RIGHT-OF-WAY UNLESS OTHERWISE NOTED. STATIONING OF CHANNELS OR PIPES IN DRAINAGE EASEMENTS REFERS TO THE CENTERLINE OF CHANNEL OR PIPE, UNLESS OTHERWISE NOTED.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING, IN ADVANCE OF THEIR CONSTRUCTION OPERATIONS, IF OVERHEAD UTILITY LINES, SUPPORT STRUCTURES, POLES, GUYS, ETC., ARE AN OBSTRUCTION TO CONSTRUCTION OPERATIONS. IF ANY OBSTRUCTION IS EVIDENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE APPROPRIATE UTILITY OWNER TO REMOVE OR SUPPORT THE UTILITY OBSTRUCTION. ALL COSTS FOR THESE REQUIREMENTS ARE INCIDENTAL TO THE CONTRACT.
13. FACILITIES WHICH ARE NOT SPECIFICALLY LOCATED WITH ACTUAL VERTICAL AND HORIZONTAL CONTROLS ON THE CONSTRUCTION DOCUMENTS, ARE SHOWN APPROXIMATE AND IN ACCORDANCE WITH THE BEST AVAILABLE INFORMATION PROVIDED BY VARIOUS OWNERS OF THE FACILITIES, AND SUPPLEMENTED BY VISUAL SURFACE INFORMATION WHERE APPROPRIATE. ACCURACY, LOCATION, AND COMPLETENESS OF THIS INFORMATION IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SHOULD BE VERIFIED, BY ANY MEANS NECESSARY, BEFORE THE INITIATION OF CONSTRUCTION. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CITY, ENGINEER, AND THE CITY'S PROJECT MANAGER IMMEDIATELY.
14. IT IS MANDATORY THAT A PRECONSTRUCTION MEETING BE HELD BEFORE COMMENCING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE CITY'S PROJECT MANAGER TO DETERMINE THE TIME AND LOCATION OF THE PRECONSTRUCTION MEETING.
15. AS-BUILTS: CONTRACTOR SHALL DELIVER FINAL CERTIFIED AS-BUILTS IN HARD COPY. AS-BUILTS SHALL BE SUBMITTED WITH SUBSTANTIAL COMPLETION PAY APPLICATION. NO PAYMENT WILL BE MADE WITHOUT AS-BUILT SUBMITTAL.
16. CALL NM811 AT LEAST 2-DAYS BEFORE DIGGING.
17. THE CONTRACTOR SHALL CONFINE THEIR WORK TO WITHIN THE CONSTRUCTION LIMITS AND/OR PUBLIC RIGHT-OF-WAY TO PRESERVE EXISTING VEGETATION, LANDSCAPING, AND PRIVATE PROPERTY. APPROVAL OF THESE PLANS DOES NOT GIVE OR IMPLY ANY PERMISSION TO TRESPASS OR WORK ON PRIVATE PROPERTY. PERMISSION MUST BE GRANTED IN WRITING BY THE OWNER OF THAT PROPERTY.

EROSION CONTROL/ENVIRONMENTAL PROTECTION/STORM WATER POLLUTION PREVENTION PLAN

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULFILLING ALL NECESSARY NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENTS INCLUDING, BUT NOT LIMITED TO: OBTAINING AN NPDES PERMIT BEFORE CONSTRUCTION, FILLING OUT THE NOTICE OF INTENT (NOI) APPLICATION, AND FILLING OUT THE NOTICE OF TERMINATION (NOT) APPLICATION. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE IMPLEMENTATION OF AND INSPECTION REPORTS FOR THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP). THE CONTRACTOR SHALL SUBMIT THE SWPPP WITH THE PROPOSED CONSTRUCTION STAGING AREA AND TEMPORARY SANITARY FACILITIES CLEARLY SHOWN. ANY CHECK DAMS, SILT FENCES, OR OTHER BEST MANAGEMENT PRACTICES (BMP) THAT ARE REQUIRED IN THE APPROVED SWPPP SHALL BE INCLUDED IN AND ARE INCIDENTAL TO THE SWPPP BID AMOUNT.
2. THE CONTRACTOR IS REQUIRED TO KEEP A CURRENT COPY OF THE SWPPP AT THE CONSTRUCTION SITE OR AT AN EASILY ACCESSIBLE LOCATION SO THAT IT CAN BE MADE AVAILABLE AT THE TIME OF AN ONSITE INSPECTION OR UPON REQUEST BY THE EPA; A STATE, TRIBAL, OR LOCAL AGENCY APPROVING STORM WATER MANAGEMENT PLANS; THE OPERATOR OF A STORM SEWER SYSTEM RECEIVING DISCHARGES FROM THE SITE; OR REPRESENTATIVES OF THE U.S. FISH AND WILDLIFE SERVICE (USFWS) OR THE NATIONAL MARINE FISHERIES SERVICE (NMFS).
3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST AND EROSION CONTROL REGULATIONS. THE CONTRACTOR SHALL PREPARE AND OBTAIN ANY NECESSARY DUST OR EROSION CONTROL PERMITS FROM THE REGULATORY AGENCIES.
4. THE CONTRACTOR SHALL EITHER PROMPTLY REMOVE ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY OR INSTALL BMPs ACCORDING TO NPDES REQUIREMENTS TO PREVENT DISCHARGE OF EXCAVATED MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY DURING A RAIN OR WIND EVENT. ALL COSTS FOR THESE REQUIREMENTS ARE INCIDENTAL TO THE CONTRACT.
5. THE CONTRACTOR SHALL IMPLEMENT THE APPROVED SWPPP AND ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
6. THE CONTRACTOR SHALL MITIGATE EROSION OF TEMPORARY OR PERMANENT DIRT SWALES BY INSTALLING BMPs IDENTIFIED IN THE APPROVED SWPPP IN THE SWALES PERPENDICULAR TO THE DIRECTION OF FLOW, AND AT INTERVALS AS SPECIFIED IN THE SWPPP.
7. CONSTRUCTION AREAS SHALL BE WATERED FOR DUST CONTROL IN COMPLIANCE WITH GOVERNMENT ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND SUPPLYING WATER AS REQUIRED. WATERING, AS REQUIRED FOR CONSTRUCTION AND DUST CONTROL, SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION AND NO MEASUREMENT OR PAYMENT SHALL BE MADE THEREFORE.
8. ANY AREAS DISTURBED BY CONSTRUCTION AND NOT COVERED BY LANDSCAPING OR AN IMPERVIOUS SURFACE SHALL BE RE-VEGETATED WITH NATIVE GRASS SEEDING. WHEN CONSTRUCTION ACTIVITIES CEASE AND EARTH DISTURBING ACTIVITIES WILL NOT RESUME WITHIN 14 DAYS, STABILIZATION MEASURES MUST BE INITIATED. UNLESS INDICATED OTHERWISE ON THESE PLANS OR ON THE LANDSCAPING PLAN, NATIVE GRASS SEEDING SHALL BE IN ACCORDANCE WITH SECTION 1012 OF THE NEW MEXICO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, APWA NM CHAPTER, CURRENT EDITION.
9. ALL WASTE PRODUCTS FROM THE CONSTRUCTION SITE, INCLUDING ITEMS DESIGNATED FOR REMOVAL, CONSTRUCTION WASTE, CONSTRUCTION EQUIPMENT WASTE PRODUCTS (OIL, GAS, TIRES, ETC.) GARBAGE, GRUBBING, EXCESS CUT MATERIAL, VEGETATIVE DEBRIS, ETC. SHALL BE APPROPRIATELY DISPOSED OF OFFSITE AT NO ADDITIONAL COST TO THE CITY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMITS REQUIRED TO HAUL OR DISPOSE OF WASTE PRODUCTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE WASTE DISPOSAL SITE COMPLIES WITH GOVERNMENT REGULATIONS REGARDING THE ENVIRONMENT, ENDANGERED SPECIES, AND ARCHAEOLOGICAL RESOURCES.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANUP AND REPORTING OF SPILLS OF HAZARDOUS MATERIALS ASSOCIATED WITH THE CONSTRUCTION SITE. HAZARDOUS MATERIALS INCLUDE GASOLINE, DIESEL FUEL, MOTOR OIL, SOLVENTS, CHEMICALS, PAINTS, ETC. WHICH MAY BE A THREAT TO THE ENVIRONMENT. THE CONTRACTOR SHALL REPORT THE DISCOVERY OF PAST OR PRESENT SPILLS TO THE NEW MEXICO ENVIRONMENT DEPARTMENT EMERGENCY RESPONSE TEAM AT (505) 827-9329.
11. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING SURFACE AND UNDERGROUND WATER. CONTACT WITH SURFACE WATER BY CONSTRUCTION EQUIPMENT AND PERSONNEL SHALL BE MINIMIZED. EQUIPMENT MAINTENANCE AND REFUELING OPERATIONS SHALL BE PERFORMED IN AN ENVIRONMENTALLY SAFE MANNER IN COMPLIANCE WITH GOVERNMENT REGULATIONS.
12. WHERE STORM INLETS ARE SUSCEPTIBLE TO INFLOW OF SILT OR DEBRIS FROM CONSTRUCTION ACTIVITIES, PROTECTION SHALL BE PROVIDED ON THEIR UPSTREAM SIDE UTILIZING BMPs ACCORDING TO NPDES REQUIREMENTS. ALL COSTS FOR THESE REQUIREMENTS ARE INCIDENTAL TO THE CONTRACT.
13. STORM WATER POLLUTION PREVENTION PLANS (SWPPP) AND ACCOMPANYING FEDERAL EPA ADMINISTRATIVE PROCEDURES SHALL MEET THE CITY OF HOBBS GUIDELINES AND PROCEDURES OUTLINED IN THE CURRENT ADDITION OF THE NEW MEXICO STATE HIGHWAY AND TRANSPORTATION DEPARTMENT STORM WATER MANAGEMENT GUIDELINES FOR CONSTRUCTION AND INDUSTRIAL ACTIVITIES MANUAL.
14. THE CONTRACTOR SHALL PROVIDE ADEQUATE MEANS FOR CLEANING TRUCKS AND/OR OTHER EQUIPMENT OF MUD BEFORE ENTERING PUBLIC STREETS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CLEAN STREETS AND TAKE WHATEVER MEASURES ARE NECESSARY TO ENSURE THAT ALL ROADS ARE MAINTAINED IN A CLEAN, MUD AND DUST-FREE CONDITION AT ALL TIMES.

ROADWAY GENERAL NOTES

1. NO PAVING CONSTRUCTION ACTIVITIES SHALL BE STARTED UNTIL ALL UNDERGROUND UTILITIES WITHIN THE ROADWAY ARE COMPLETED, TESTED, AND APPROVED. ALL WATER VALVE BOXES AND ELECTRICAL, TELEPHONE, TELEVISION, AND SEWER MANHOLES IN THE CONSTRUCTION AREA SHALL BE ADJUSTED TO FINISHED GRADE.
2. ALL SIGNS, BARRICADES, CHANNELIZATION DEVICES, PAVEMENT MARKINGS, SIGN FRAMES AND ERECTION OF SUCH DEVICES SHALL CONFORM TO THE REQUIREMENTS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" (MUTCD), CURRENT EDITION.
3. ALL STREET STRIPING ALTERED OR DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR TO MATCH THE ORIGINAL CONDITIONS (I.E. TYPE, SPACING) AT THE LOCATION PRIOR TO CONSTRUCTION, OR AS SHOWN IN THIS PLAN SET.
4. STREET GRADES SHALL BE RESTORED BY THE CONTRACTOR TO THE EXISTING GRADES UNLESS OTHERWISE DIRECTED BY THE CITY OF HOBBS. SMOOTH TRANSITIONS SHALL BE MADE BETWEEN EXISTING PAVEMENT WHICH REMAINS IN PLACE AND PAVEMENT WHICH IS REPLACED. WHEN ABUTTING NEW PAVEMENT TO EXISTING, SAW CUT BACK EXISTING PAVEMENT TO A NEAT, STRAIGHT LINE AS REQUIRED TO REMOVE ANY BROKEN OR CRACKED PAVEMENT.
5. THE LOCATION OF ALL VALVES AND MANHOLES MUST BE REFERENCED AT ALL TIMES BY THE CONTRACTOR DURING CONSTRUCTION AND MADE ACCESSIBLE DAILY UPON COMPLETION OF ALL PAVING ACTIVITIES.

UTILITIES-GENERAL NOTE:

1. IF ANY UTILITY LINES, PIPELINES OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS. THEY ARE SHOWN IN AN APPROXIMATE LOCATION ONLY, AND LINES MAY EXIST WHERE NONE ARE SHOWN. THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE UTILITY OWNER OR FROM EXISTING PLANS, AND THIS INFORMATION MAY BE INCOMPLETE, OR OBSOLETE AT THE TIME OF CONSTRUCTION. THE ENGINEER HAS NOT UNDERTAKEN ANY FIELD VERIFICATION OF THESE LOCATIONS, LINE SIZES OR MATERIAL TYPE, MAKES NO REPRESENTATION THERETO, AND ASSUMES NO RESPONSIBILITY ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE OR UNDERGROUND INSTALLATION IN OR NEAR THE AREA IN ADVANCE OF ANY DURING ANY EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND UNDERGROUND FACILITIES. IN PLANNING AND CONDUCTING EXCAVATIONS, THE CONTRACTOR SHALL COMPLY WITH ALL STATE STATUES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES
2. THE CONTRACTOR SHALL NOTIFY NEW MEXICO ONE CALL, INC. AT PHONE NO. (811) AT LEAST TWO WORKING DAYS PRIOR TO STARTING WORK ON THIS PROJECT.
3. SEWER/WATER LINES SHALL BE PLACED IN SEPARATE TRENCHES A DISTANCE OF 15 FEET TYPICALLY OR A MINIMUM OF 10 FEET APART HORIZONTALLY. THE WATER LINE SHALL BE PLACED A MINIMUM OF 1.5 FEET HIGHER IN ELEVATION THAN THE SEWER. AT ALL CROSSINGS OF WATER AND SEWER LINES, THE WATER LINE SHALL BE MINIMUM OF 1.5 HIGHER THAN THE SEWER OR THE SEWER LINE SHALL BE SDR 26 PRESSURIZED PIPE. IF THESE REQUIREMENTS ARE NOT MET, CONSTRUCT SEWER ENCASEMENT PER APWA STD. DWG. 2140.
4. SEWER & WATER LINE DISTANCES SHOWN IN PLANS ARE HORIZONTAL DISTANCES WITHOUT REGARD TO SLOPE OF PIPE OR PROJECT STATIONING.
5. ELECTRONIC MARKER DEVICES (EMD) WILL BE REQUIRED AT ALL SANITARY SEWER MANHOLES AND WATER VALVE CANS, NEW OR ADJUSTED TO GRADE THROUGHOUT THE PROJECT. EMD's SHALL BE INCIDENTAL TO ITEM OR ADJUSTMENT.

WATER:

1. THE CONTRACTOR MUST OBTAIN WRITTEN APPROVAL FROM THE CITY OF HOBBS WATER DEPT. TO OPERATE ANY VALVE OR FIRE HYDRANT INCLUDING NEW WATERLINES AND EXTENSIONS TO THE WATER SYSTEM WHICH HAVE NOT YET BEEN ACCEPTED BY ARE CONNECTED TO THE EXISTING WATER SYSTEM. ONCE APPROVAL HAS BEEN VERIFIED, THE CONTRACTOR MUST CONTACT THE CITY OF HOBBS WATER DEPT., 48 HOURS IN ADVANCE TO REQUEST A SHUTOFF DATE. WATER SHUT OFF MAY BE DONE AT NIGHT OR ON WEEKENDS TO ACCOMMODATE WATER CUSTOMERS.
2. WATER LINES SHALL BE CONSTRUCTED WITH A MINIMUM OF 3.0 FT. COVER MEASURED FROM FINISH GRADE TO THE TOP OF PIPE, UNLESS OTHERWISE SPECIFIED ON PLANS.
3. FOR PRESSURE WATER CONNECTIONS TO EXISTING LINES, THE CONTRACTOR SHALL COORDINATE WITH THE CITY OF HOBBS. CITY OF HOBBS PERFORMS PRESSURE WATER CONNECTIONS. CONTACT SEVERAL WEEKS IN ADVANCED TO SCHEDULE PRESSURE WATER CONNECTIONS.
4. CONCRETE THRUST BLOCKS SHALL BE USED ON ALL 90 DEGREE BENDS, TEES TO HYDRANTS, BEHIND HYDRANTS AND UNDER VALVES. ALL FITTINGS AND CAPS SHALL USE MEGA LUG RESTRAINTS. NO EXTRA PAYMENT WILL BE MADE FOR THESE FEATURES.
5. COMPRESSION JOINTS MAY BE USED ON COPPER SERVICE LINES EXCEPT FLARED JOINTS SHALL BE USED WHEN CONNECTING TO PLASTIC LINES.
6. THE 24" DEPTH OF SERVICE LINE BELOW FINISH SURFACE ELEVATION OF METER BOXES IS CRITICAL. METERS WILL NOT BE INSTALLED WHEN THIS DIMENSION VARIES.
7. VALVE BOXES SHALL BE BROUGHT TO SURFACE ELEVATION UPON COMPLETION OF SURFACE COURSE OF PAVEMENT.
8. ALL PIPING, VALVES, FITTINGS, AND SERVICES UTILIZE FOR POTABLE WATER SERVICE, SHALL BE DISINFECTED IN ACCORDANCE WITH NMED REQUIREMENTS. PIPELINES SHALL BE DISINFECTED IN ACCORDANCE WITH AWWA C-651. REFER TO APWA SPECIFICATIONS SECTION 801.17.
9. FLUSHING OF WATER LINES SHALL BE METERED. ORDER OF PREFERENCE FOR DISPOSAL IS (1) ON AVAILABLE LAND SURFACE (2) IN STORM SEWERS OR (3) IN SANITARY SEWERS. DISPOSAL METHOD SHALL BE DISCUSSED WITH ENGINEER OR THE CITY OF HOBBS WATER DEPARTMENT.
10. FLUSHING, DISINFECTING AND TESTING OF WATERLINES SHALL BE COORDINATED WITH THE CITY OF HOBBS WATER DEPT.
11. DEFLECTIONS AT PIPE JOINTS AND FITTINGS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH PIPE MANUFACTURE'S RECOMMENDED PRACTICES. IN NO CIRCUMSTANCE SHALL ANY SINGLE DEFLECTION, WHETHER AT A FITTING OR A JOINT, EXCEED THE MANUFACTURERS RECOMMENDATIONS.
12. WHERE ANY SINGLE JOINT DEFLECTION IS SHOWN EXCEEDING 1.5', CONTRACTOR SHALL EVENLY DISTRIBUTE TOTAL DEFLECTIONS BETWEEN UPSTREAM AND DOWNSTREAM JOINTS OF PIPE TO ACCOMMODATE TOTAL DEFLECTION REQUIREMENT WITHOUT EXCEEDING THE MANUFACTURER'S RECOMMENDATION DEFLECTION AT ANY SINGLE JOINT.
13. 4" PVC WATERLINE SHALL BE CLASS C900 DR--18.

AS-BUILT

SOILS

1. UNLESS OTHERWISE SPECIFIED SUBGRADE SOILS AND STRUCTURAL FILL MATERIALS SHALL BE COMPACTED TO THE FOLLOWING PERCENTAGES OF THE ASTM D-1557 MAXIMUM DENSITY.	
	PERCENT (%)
MATERIALS	COMPACTION
STRUCTURAL FILL IN THE BUILDING AREA	95
SUB BASE FOR SLAB SUPPORT	95
MISCELLANEOUS BACKFILL BELOW STRUCTURAL FILL OR ROAD	95
MISCELLANEOUS BACKFILL BELOW UNPAVED, NON-BUILDING AREAS	90
ROAD SUB GRADE	95
SIDEWALK SUB GRADE	95
CURB AND GUTTER SUBGRADE	95
ARROYOS	90



CLIENT:

JOHN LEMKE
D.B.A.
LEMKE DEVELOPMENT, INC.

THE MEADOWS SUBDIVISION
UNIT V

GENERAL NOTES

SHEET 2 of 26

SET 1-2

DATE JANUARY 2024

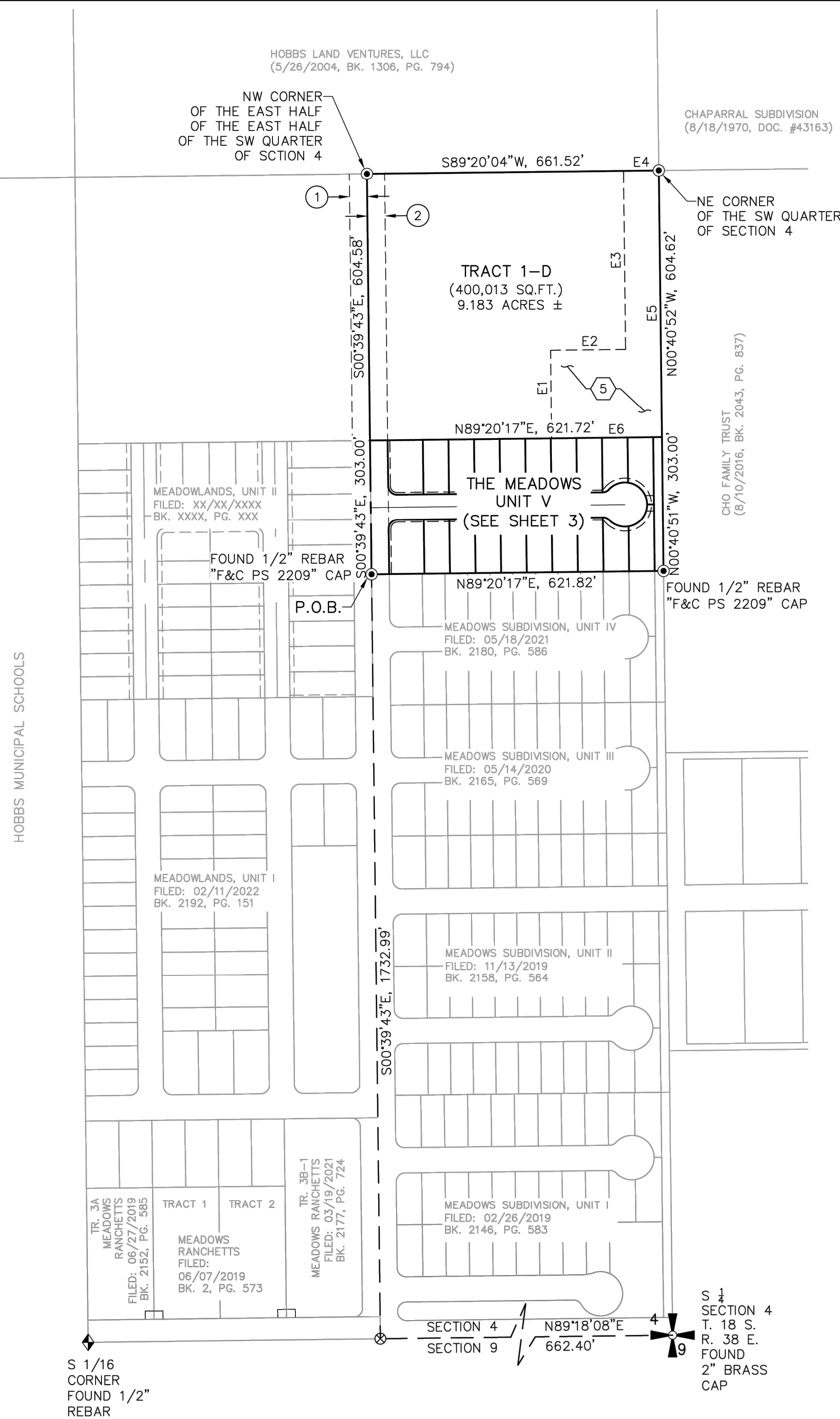
PROJ 23056

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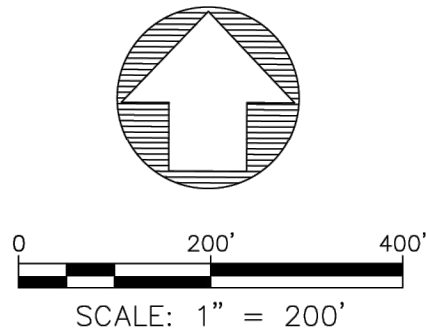


Fierro & Company
ENGINEERING | SURVEYING

3201 4th. STREET NW, SUITE C
ALBUQUERQUE, NM 87107
PH 505.352.8930
www.fierrocompany.com



LINE TABLE		
LINE #	BEARING	DISTANCE
E1	N00°40'52"W	200.08
E2	N89°20'17"E	170.00
E3	N00°40'52"W	404.62
E4	N89°20'03"E	80.00
E5	N00°40'53"W	604.62
E6	N89°19'08"E	250.00



SHEET 2 OF 3

STATE OF NEW MEXICO
COUNTY OF LEA
FILED

_____, 2021,
AT _____, O'CLOCK __M AND RECORDED IN
CABINET _____
SLIDE _____
_____, LEA COUNTY CLERK
BY _____ DEPUTY

DESIGNED: RJF									
DRAWN: JB									
CHECKED: RJF									
APPROVED: ###									
	1	5/8/24	RJF	UPDATED PLAT					
	NO.	DATE	BY	REVISION					





Fierro & Company
ENGINEERING | SURVEYING
3201 4th. STREET NW, SUITE C
ALBUQUERQUE, NM 87107
(505) 352-8930

CLIENT:

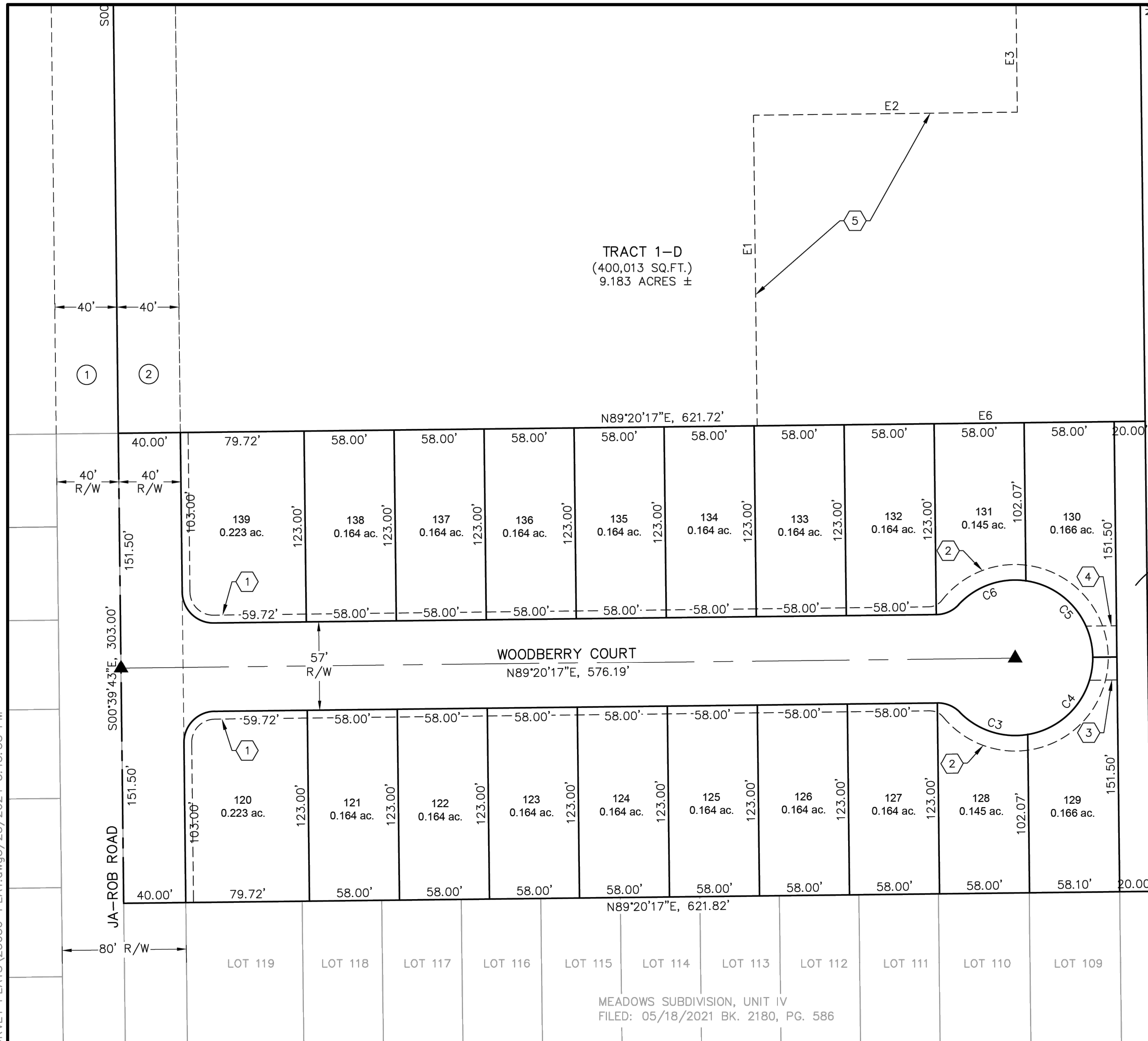
JOHN LEMKE
D.B.A.
LEMKE DEVELOPMENT, INC.

**THE MEADOWS SUBDIVISION
UNIT V**

PRELIMINARY PLAT

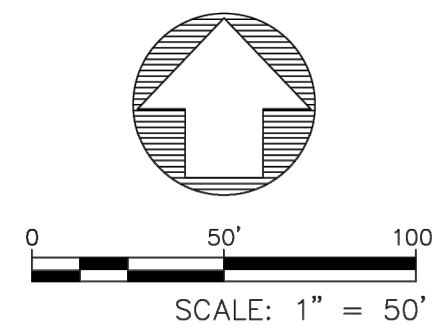
SHEET	5	of	26
SET	2-2		
DATE	JANUARY 2024		
PROJ	23056		

CURVE TABLE					
CURVE #	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C3	48.33	50.00	55°22'44"	S72°12'29"E	46.47
C4	70.48	50.00	80°45'52"	N39°43'13"E	64.79
C5	70.48	50.00	80°45'52"	N41°02'39"W	64.79
C6	48.33	50.00	55°22'44"	S70°53'03"W	46.47



— 20' DRAINAGE AND PUBLIC
INFRASTRUCTURE CORRIDOR
DEDICATED TO THE PUBLIC
0.1391 ACRES

CHO FAMILY TRUST
(8/10/2016, BK. 2043, PG. 837)



SHEET 3 OF 3

STATE OF NEW MEXICO
COUNTY OF LEA
FILED

_____, 2021,



AT _____, O'CLOCK __M AND RECORDED IN _____

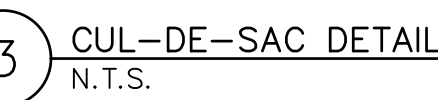
CABINET _____

SLIDE _____

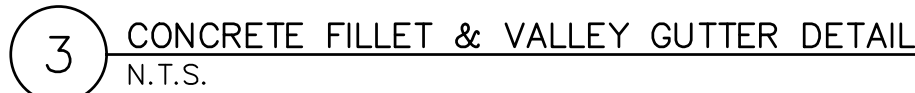
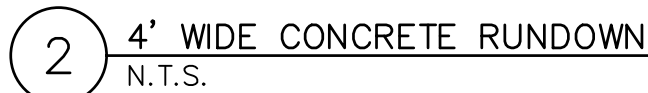
_____, LEA COUNTY CLERK



BY _____ DEPUTY

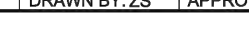
DESIGNED: RJF							 Fierro & Company ENGINEERING SURVEYING 3201 4th. STREET NW, SUITE C ALBUQUERQUE, NM 87107 (505) 352-8930	CLIENT: JOHN LEMKE D.B.A. LEMKE DEVELOPMENT, INC.	THE MEADOWS SUBDIVISION UNIT V		SHEET 6 of 26
DRAWN: JB									SET 2-3		
CHECKED: RJF									DATE JANUARY 2024		
APPROVED: ###	1	5/8/24	RJF	UPDATED PLAT					PROJ 23056		
	NO.	DATE	BY	REVISION							



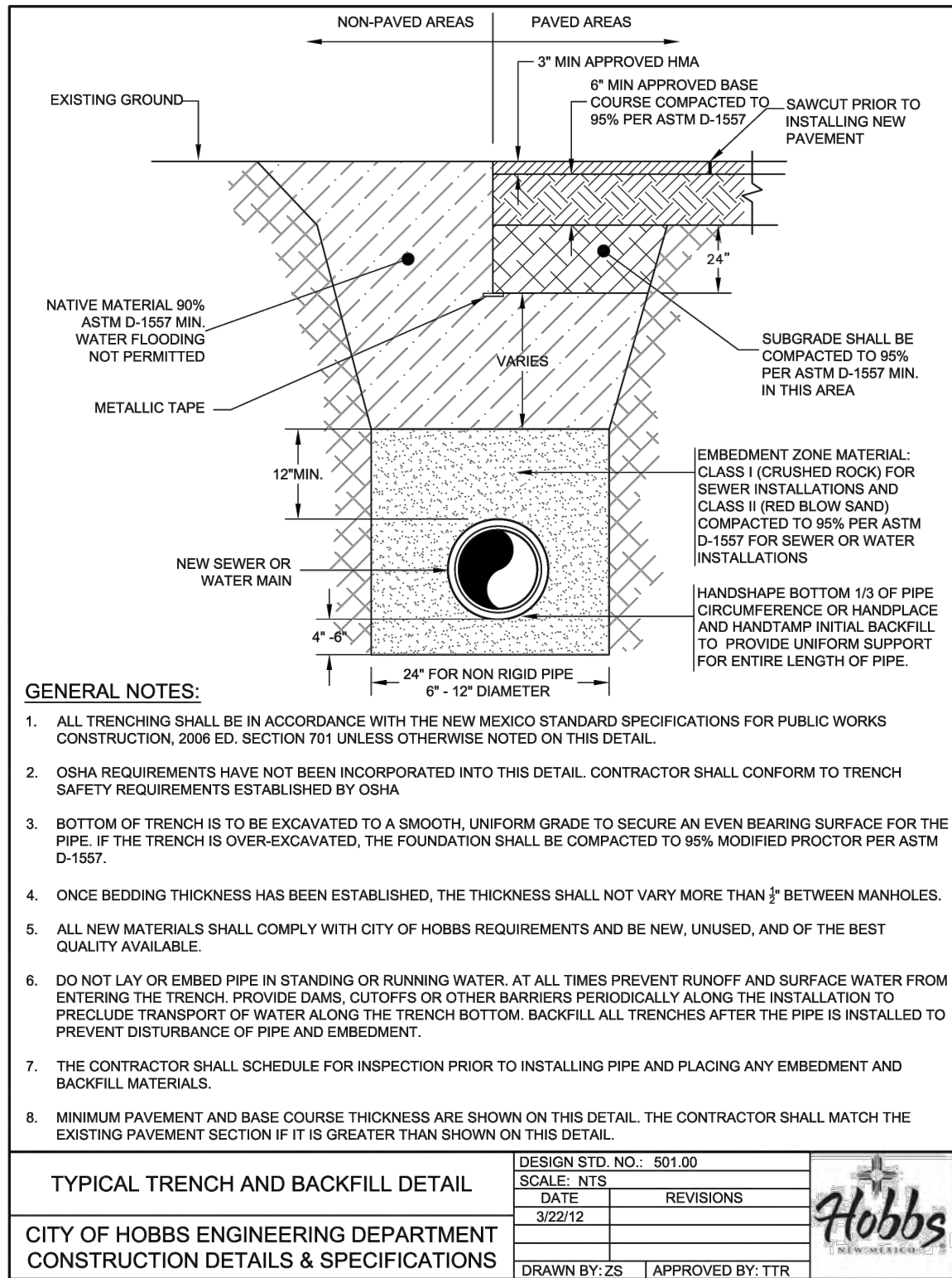
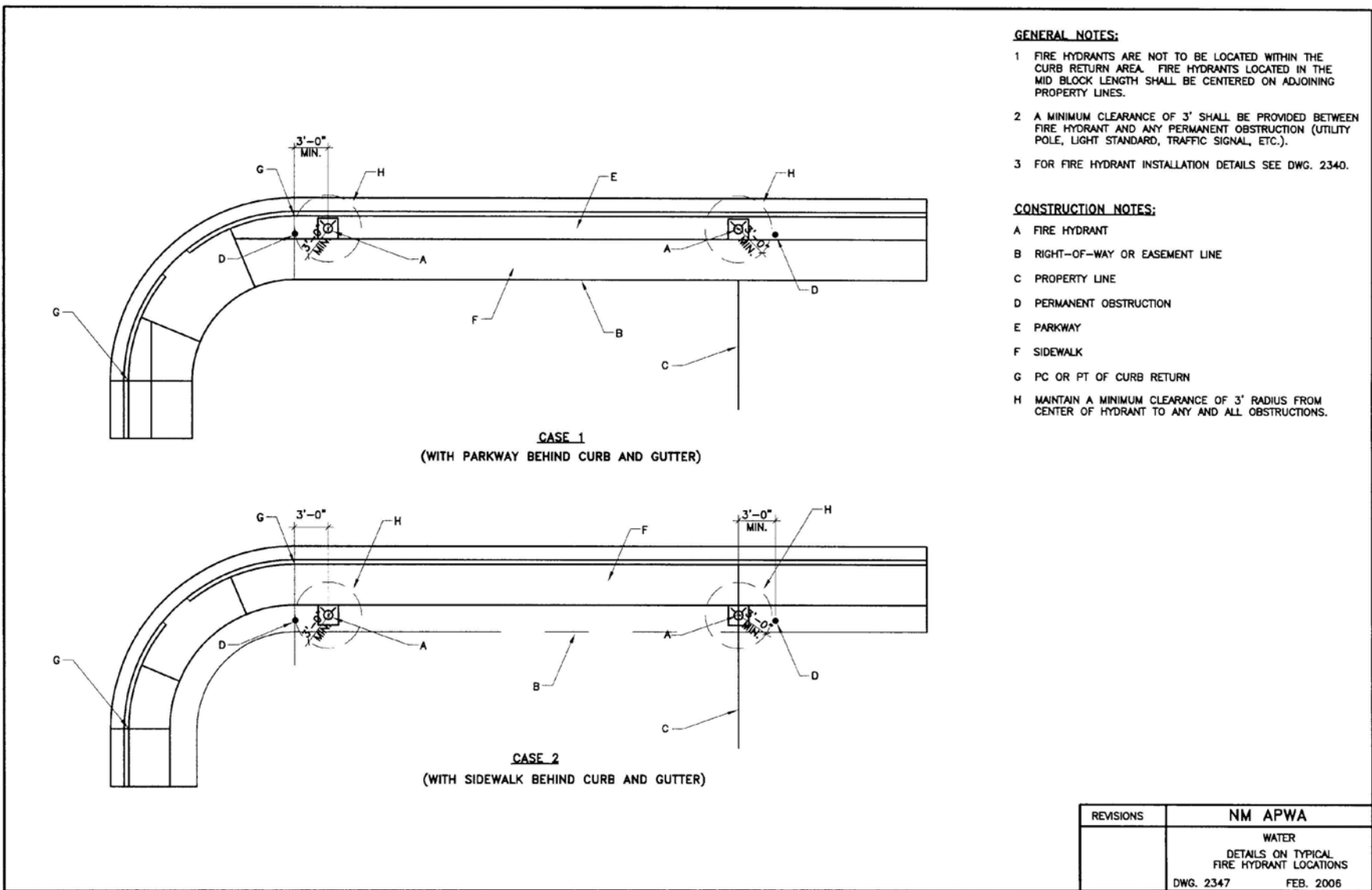
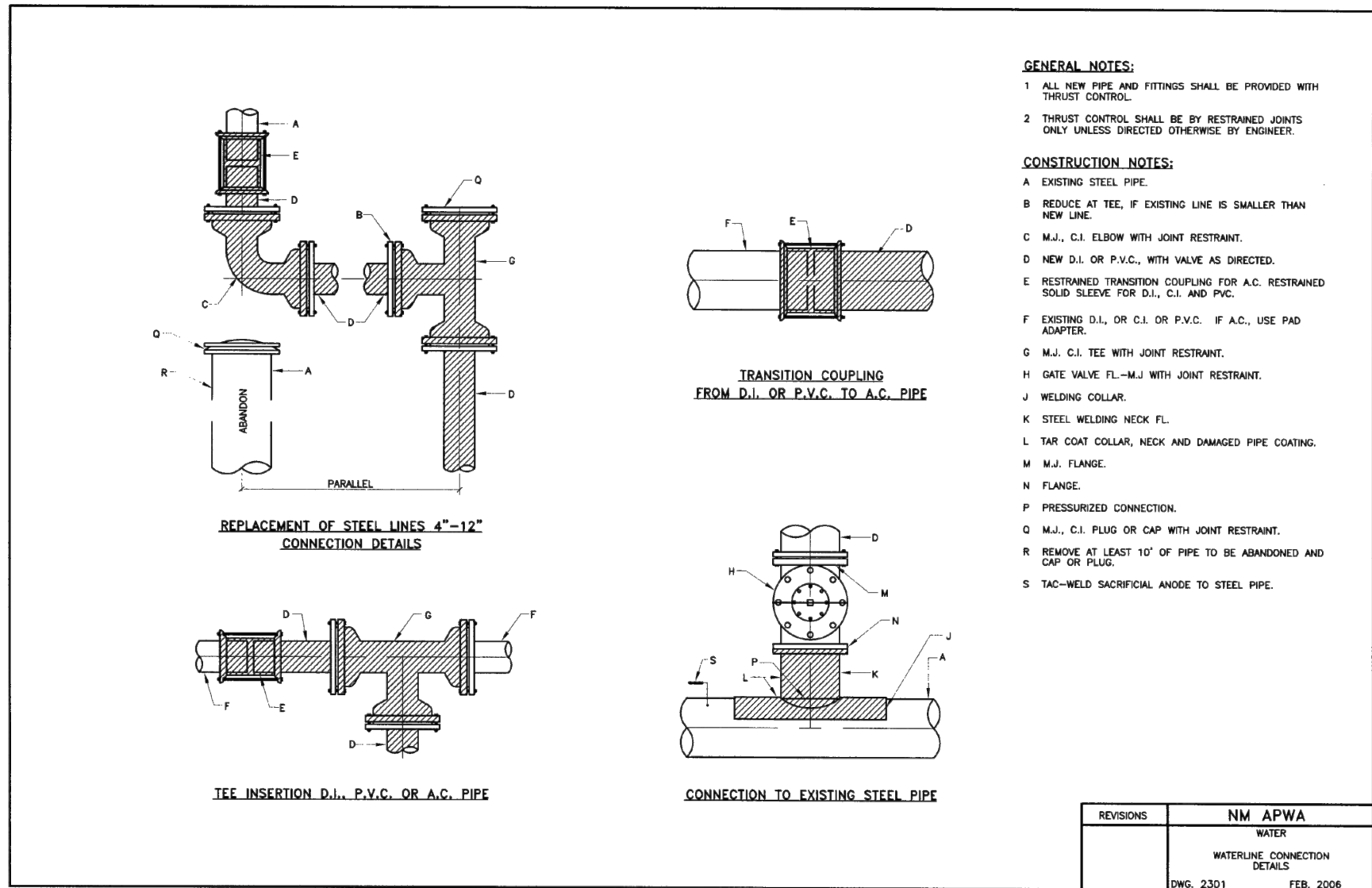
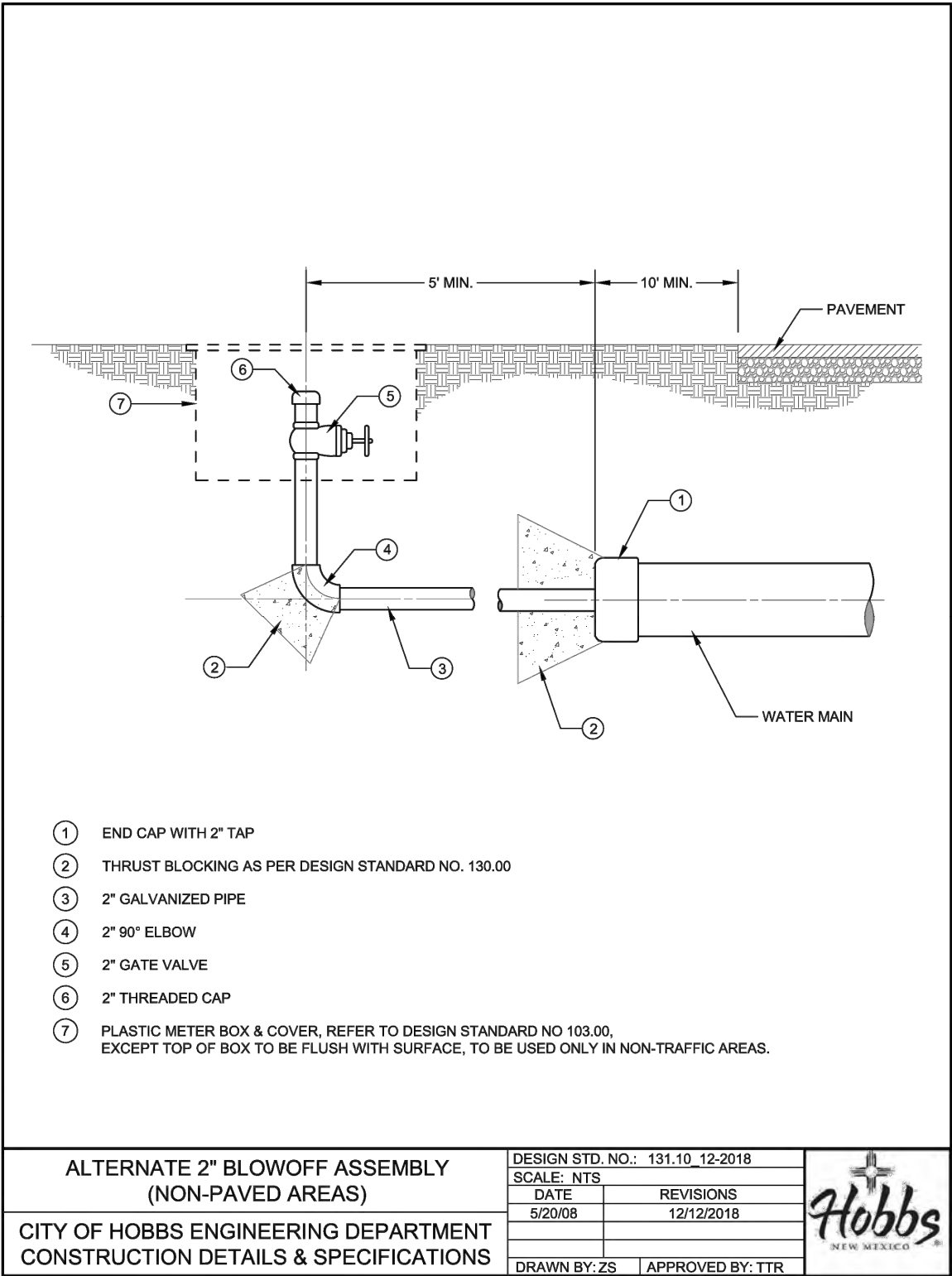
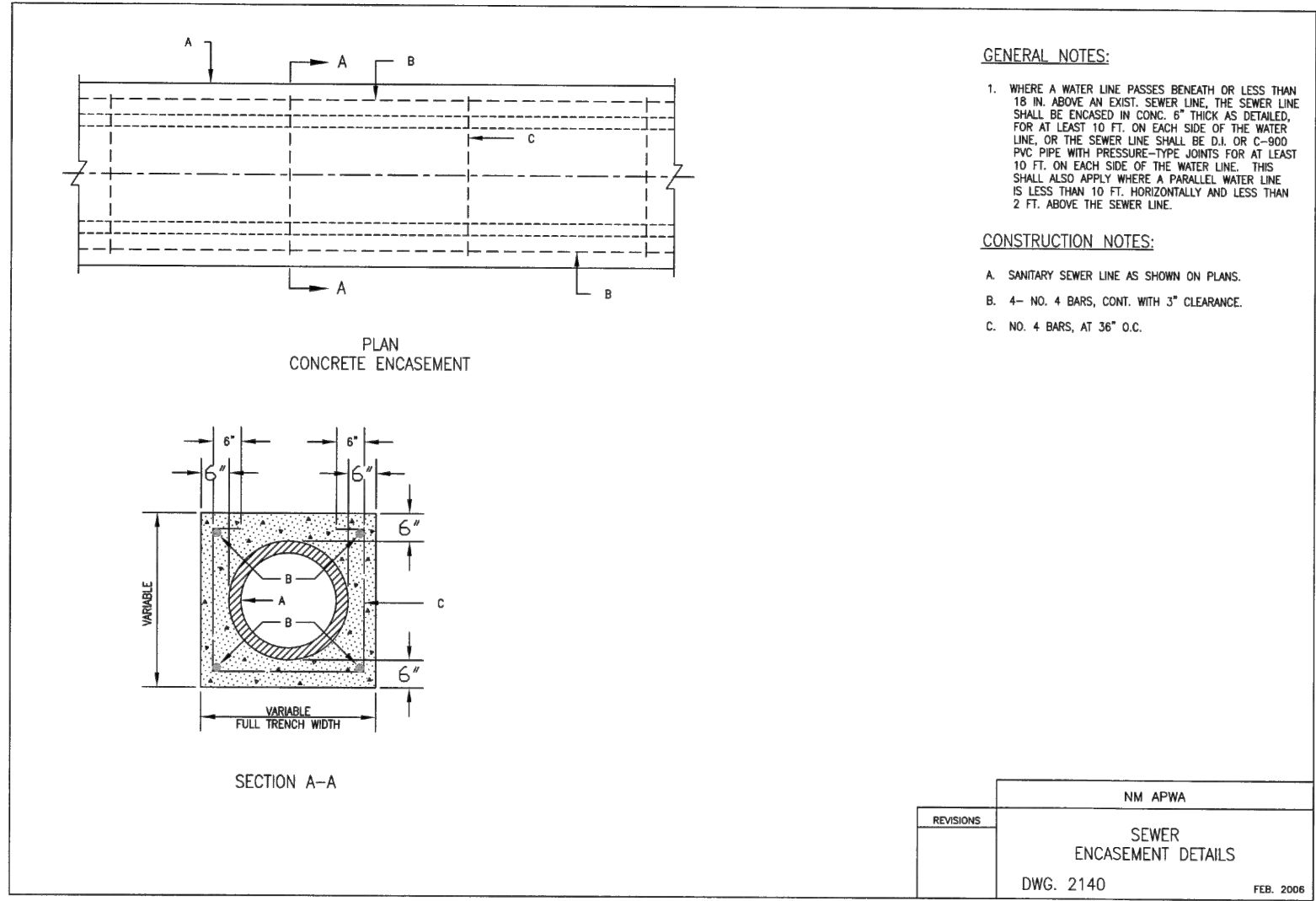
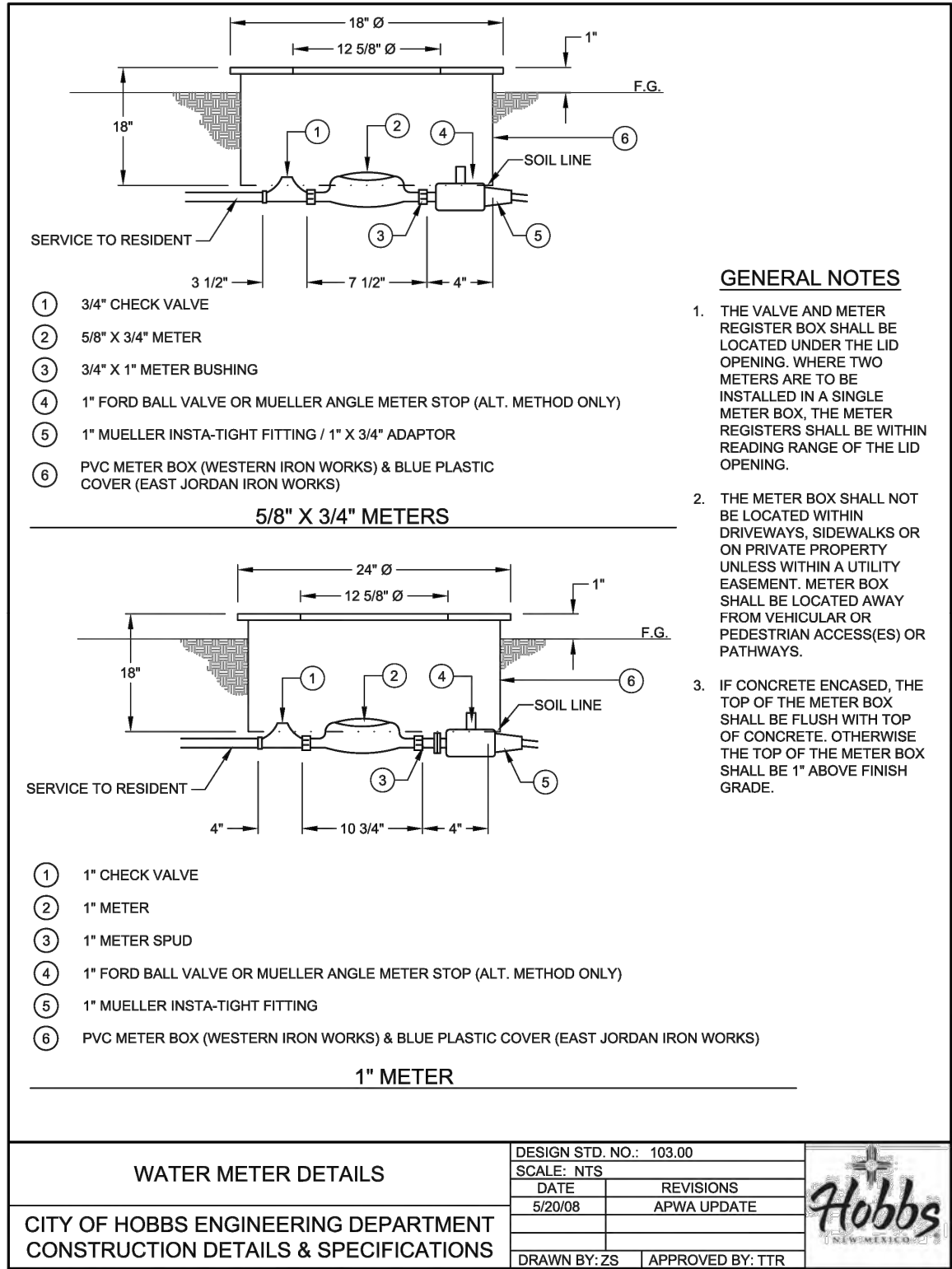
SHEET	7	of	26
SET	3-1		
DATE	JANUARY 2024		
PROJ	23056		



DESIGNED: RJF							 Fierro & Company ENGINEERING SURVEYING 3201 4th. STREET NW, SUITE C ALBUQUERQUE, NM 87107 (505) 352-8930	CLIENT: JOHN LEMKE D.B.A. LEMKE DEVELOPMENT, INC.	THE MEADOWS SUBDIVISION UNIT V	SHEET 8 of 26
DRAWN: RJS									SET 3-2	
CHECKED: RJF									DATE JANUARY 2024	
APPROVED: ###	1	5/8/24	RJF	UPDATED DETAIL 3, REBAR NOTE & V.G. THICKNESS					PROJ 23056	
	NO.	DATE	BY	REVISION						



PROJ 23056



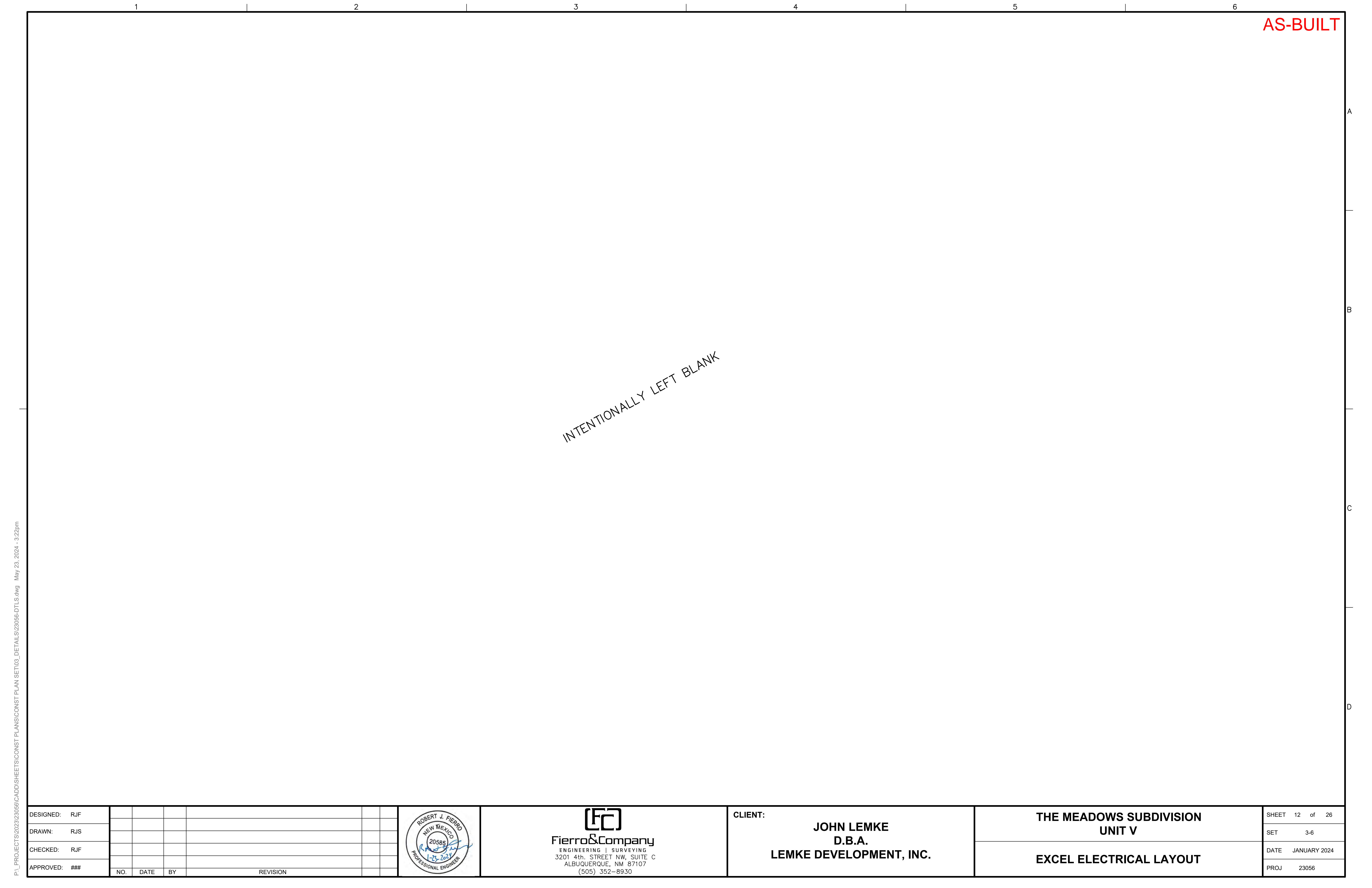
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DRAWN: RJS					
CHECKED: RJF					
APPROVED: ###	1	5/8/24	RJF	UPDATED STANDARD DRAWINGS	
	NO.	DATE	BY	REVISION	



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3201 4th. STREET NW, SUITE C
ALBUQUERQUE, NM 87107
(505) 352-8930

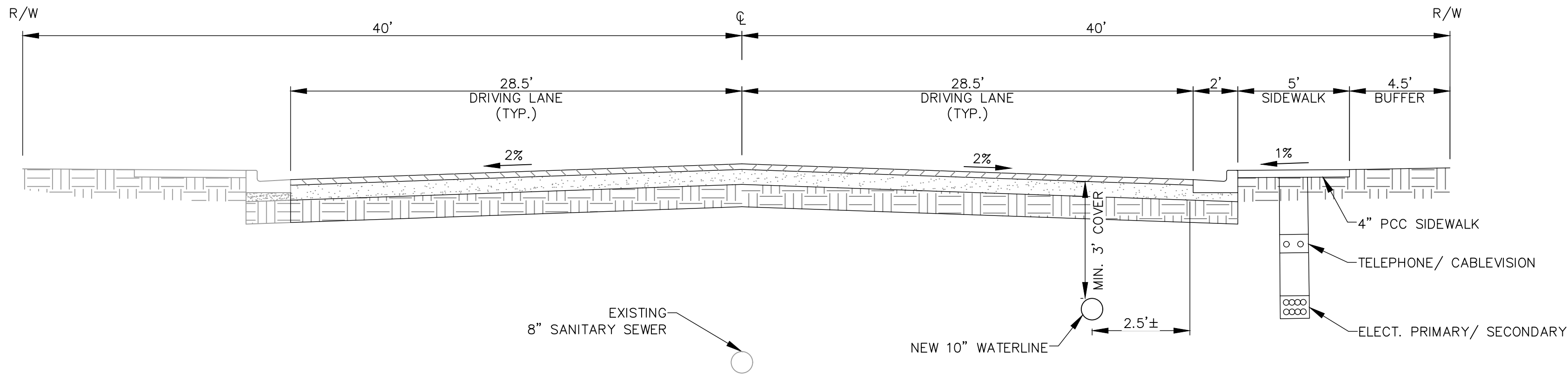
CLIENT:
JOHN LEMKE
D.B.A.
LEMKE DEVELOPMENT, INC.

THE MEADOWS SUBDIVISION UNIT V UTILITY DETAILS	SHEET 11 of 26
	SET 3-5
	DATE JANUARY 2024
	PROJ 23056

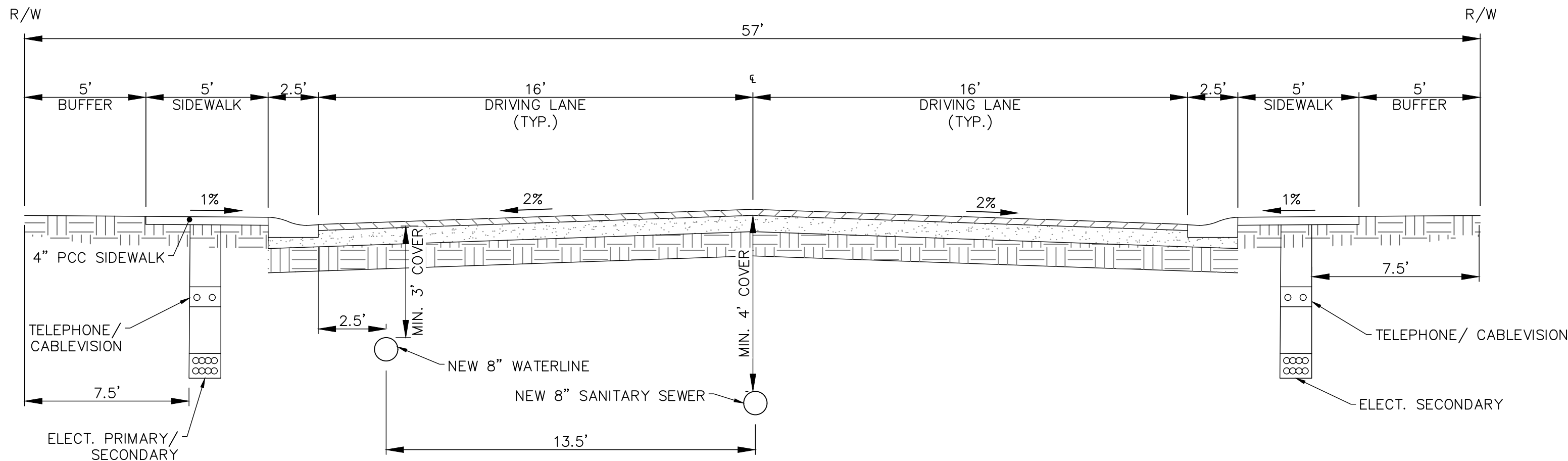


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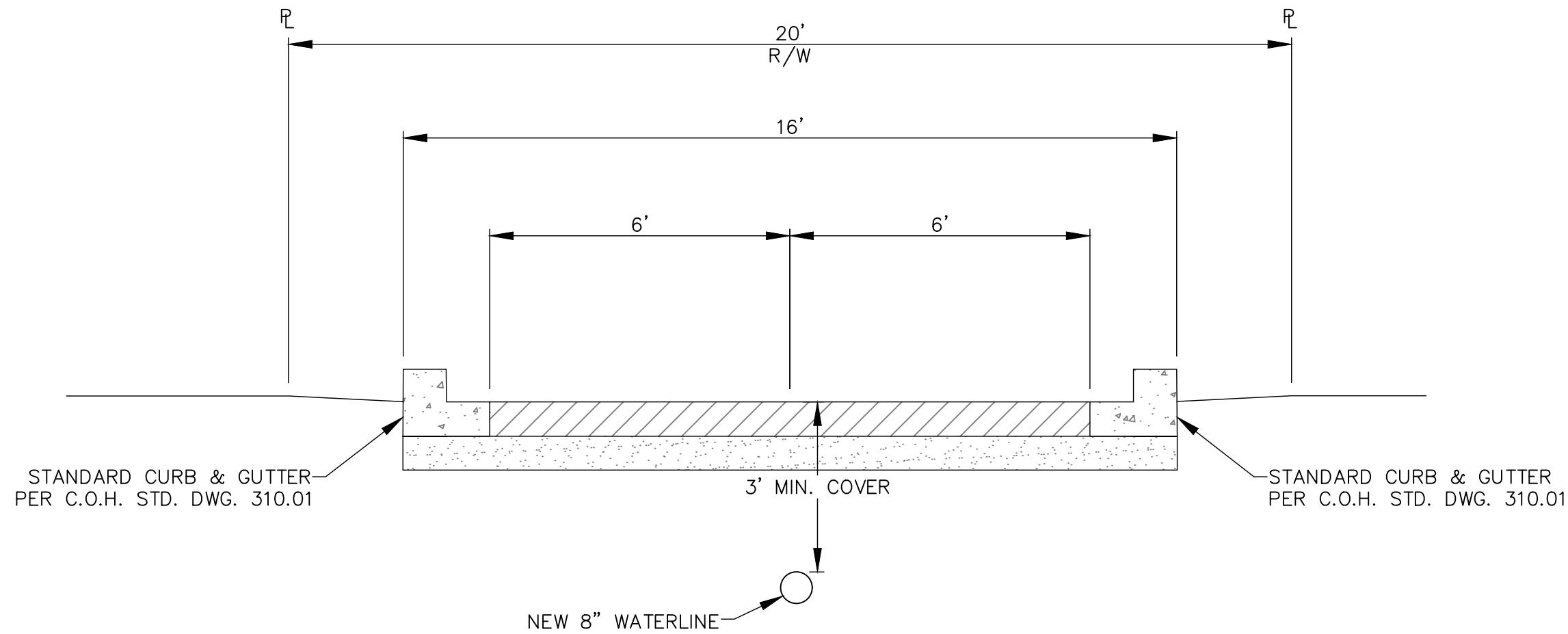
DESIGNED: RJF									 ENGINEERING SURVEYING 3201 4th. STREET NW, SUITE C ALBUQUERQUE, NM 87107 (505) 352-8930	CLIENT: JOHN LEMKE D.B.A. LEMKE DEVELOPMENT, INC.	THE MEADOWS SUBDIVISION UNIT V		SHEET 12 of 26
DRAWN: RJS											SET 3-6		
CHECKED: RJF											DATE JANUARY 2024		
APPROVED: ###											PROJ 23056		
	NO.	DATE	BY		REVISION								



1 JA-ROB HYBRID MINOR COLLECTOR SECTION
N.T.S.



2 TYPICAL UTILITY SECTION (JUNE GRASS RD)
N.T.S.



3 DRAINAGE TYPICAL SECTION
N.T.S.

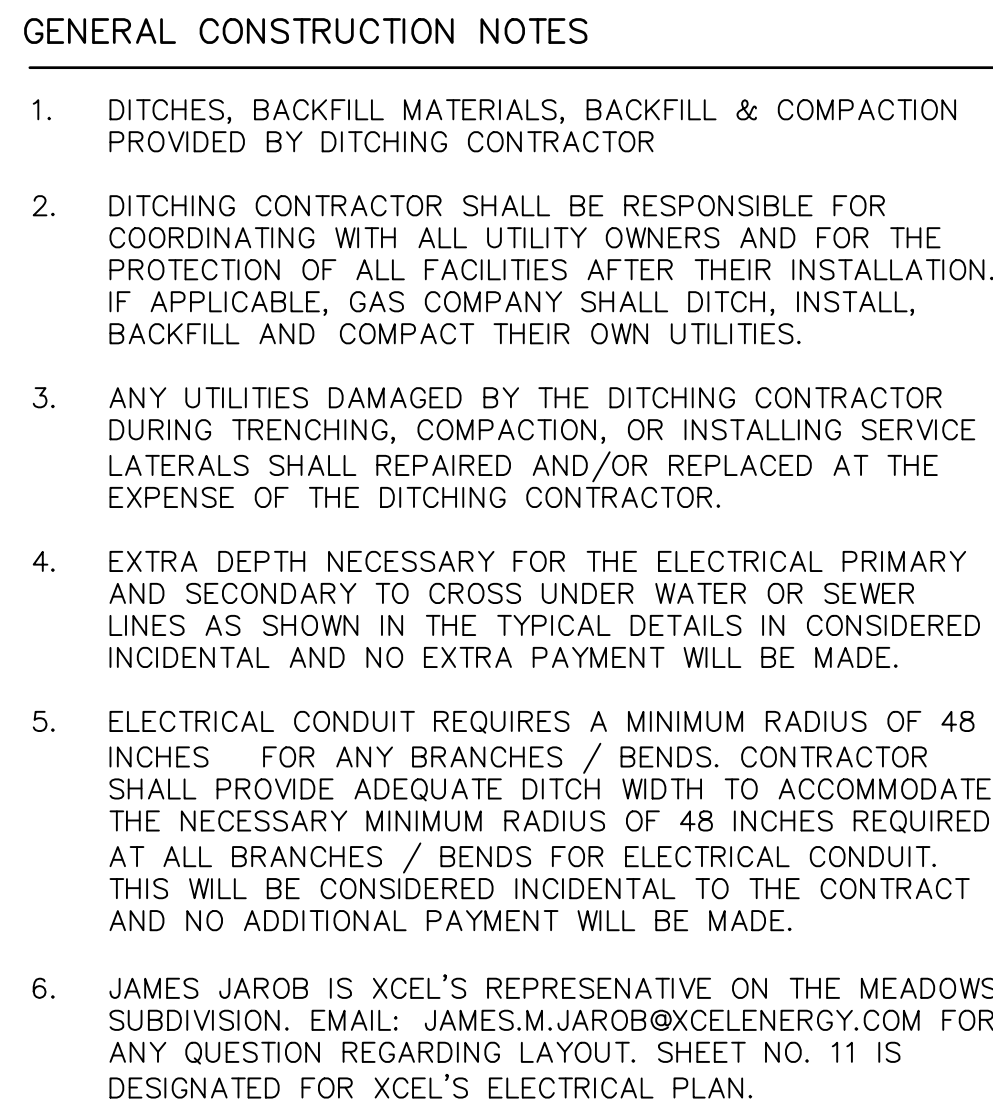
DESIGNED: RJF									
DRAWN: RJS									
CHECKED: RJF									
APPROVED: ###									
	1	5/8/24	RJF	UPDATED DETAIL, SIDEWALK SLOPES					
	NO.	DATE	BY	REVISION					



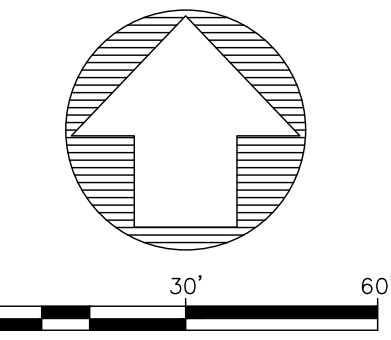
CLIENT: JOHN LEMKE
D.B.A.
LEMKE DEVELOPMENT, INC.

THE MEADOWS SUBDIVISION UNIT V	SHEET 13 of 26
UTILITY SECTIONS	SET 3-7
	DATE JANUARY 2024
	PROJ 23056

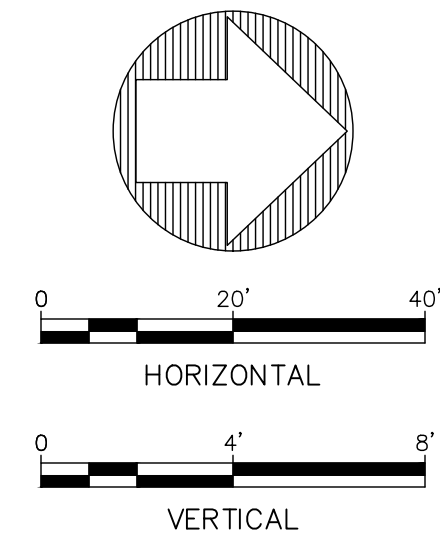
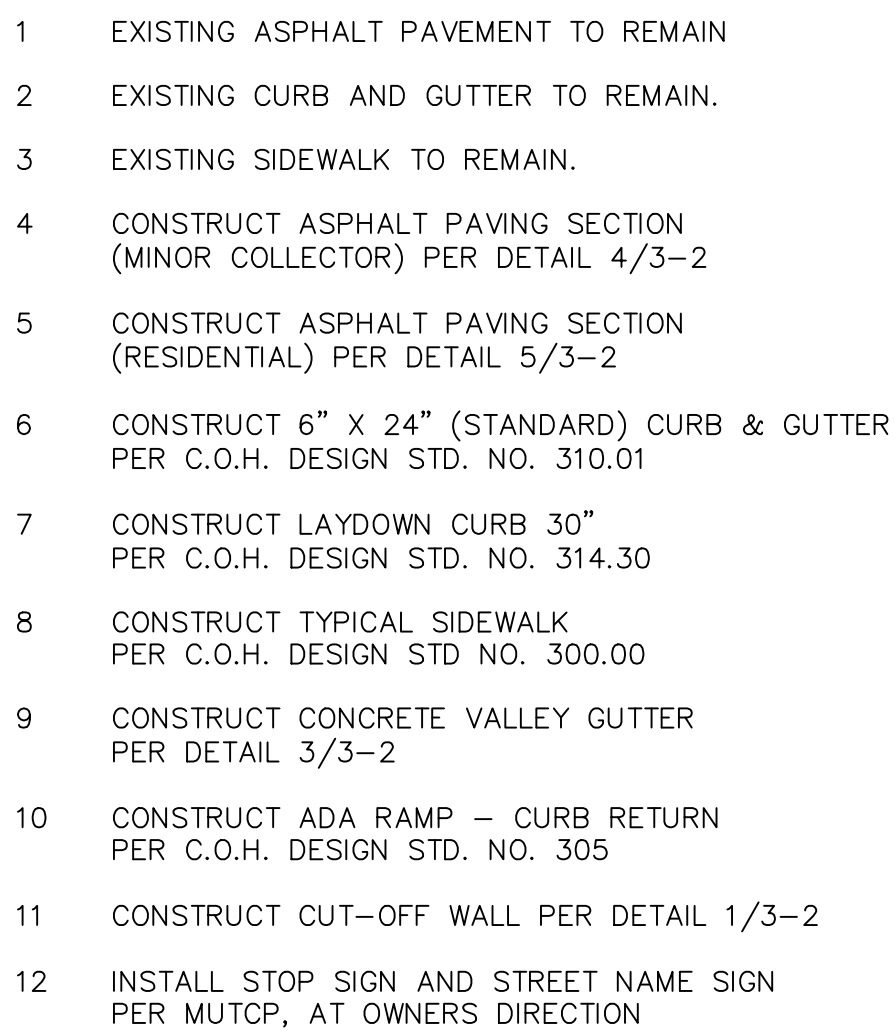
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SHEET
LOCATION

MEADOWLANDS DR

JUNIPER RD

LILY POND RD

J-ROB ROAD

W COLLEGE LN

GRASS RD

WOODBERRY CT

HONEYSUCKLE CT

FOX FIRE CT

W PONDEROSA DR

HOOT OWL CT

FROG LEAP CT

TURTLEBACK CT

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- A



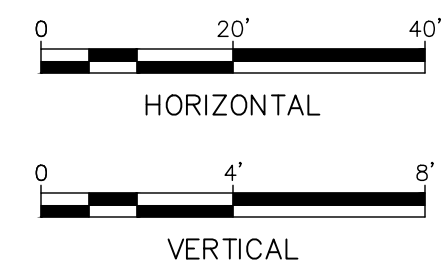
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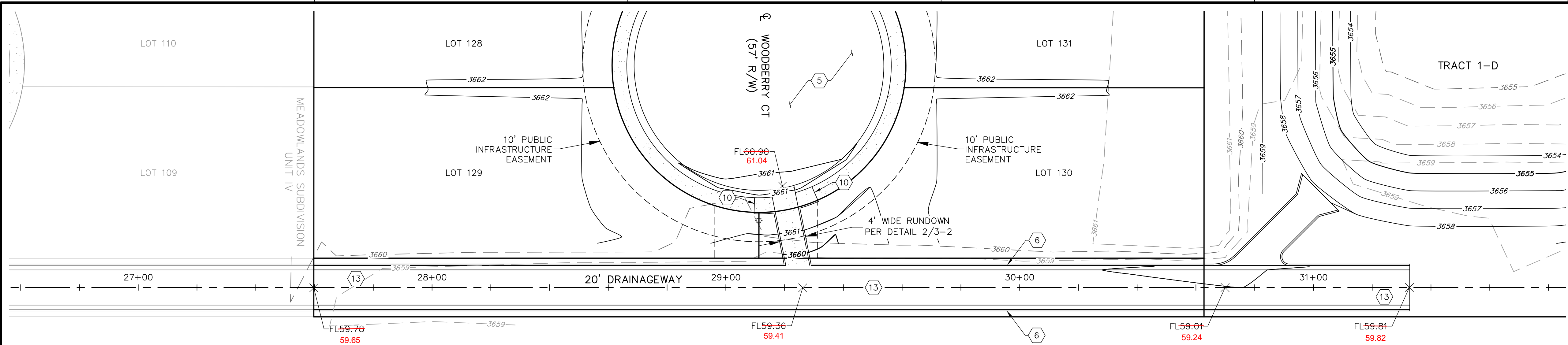
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C

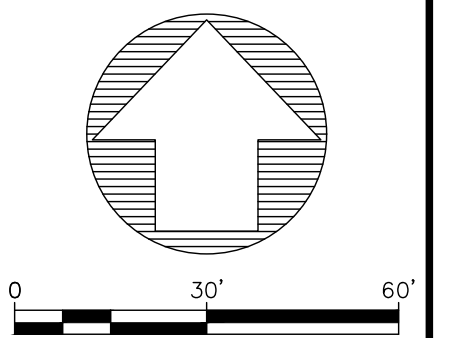
D



The map shows a grid of streets. The vertical streets from left to right are: MEADOWLANDS DR, JUNE GRASS RD, LILY POND RD, J-ROB ROAD, and W COLLEGE LN. The horizontal streets from top to bottom are: WOODBERRY CT, HONEYSUCKLE CT, FOX FIRE CT, W PONDEROSA DR, HOOT OWL CT, FROG LEAP CT, and TURTLEBACK CT. A black rectangle highlights the area between JUNE GRASS RD and LILY POND RD, and between WOODBERRY CT and HONEYSUCKLE CT. An arrow points to this rectangle with the label 'SHEET LOCATION'.



DESIGNED: RJF							<div style="text-align: center;"> Fierro & Company ENGINEERING SURVEYING 3201 4th. STREET NW, SUITE C ALBUQUERQUE, NM 87107 (505) 352-8930</div>	CLIENT: <div style="text-align: center;">JOHN LEMKE D.B.A. LEMKE DEVELOPMENT, INC.</div>	THE MEADOWS SUBDIVISION UNIT V	SHEET 19 of 26
DRAWN: JB					SET 4-4					
CHECKED: RJF					DATE JANUARY 2024					
APPROVED: ###	NO.	DATE	BY	REVISION	PROJ 23056					



DESIGNED: RJF						
DRAWN: JB						
CHECKED: RJF						
APPROVED: ###	1	5/8/24	RJF	UPDATED TYPICAL SERVICE DETAIL		
	NO.	DATE	BY	REVISION		



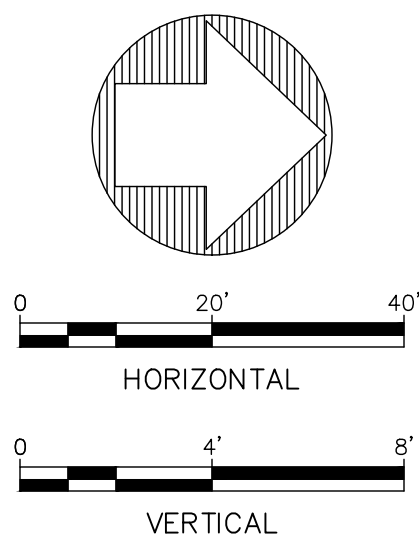
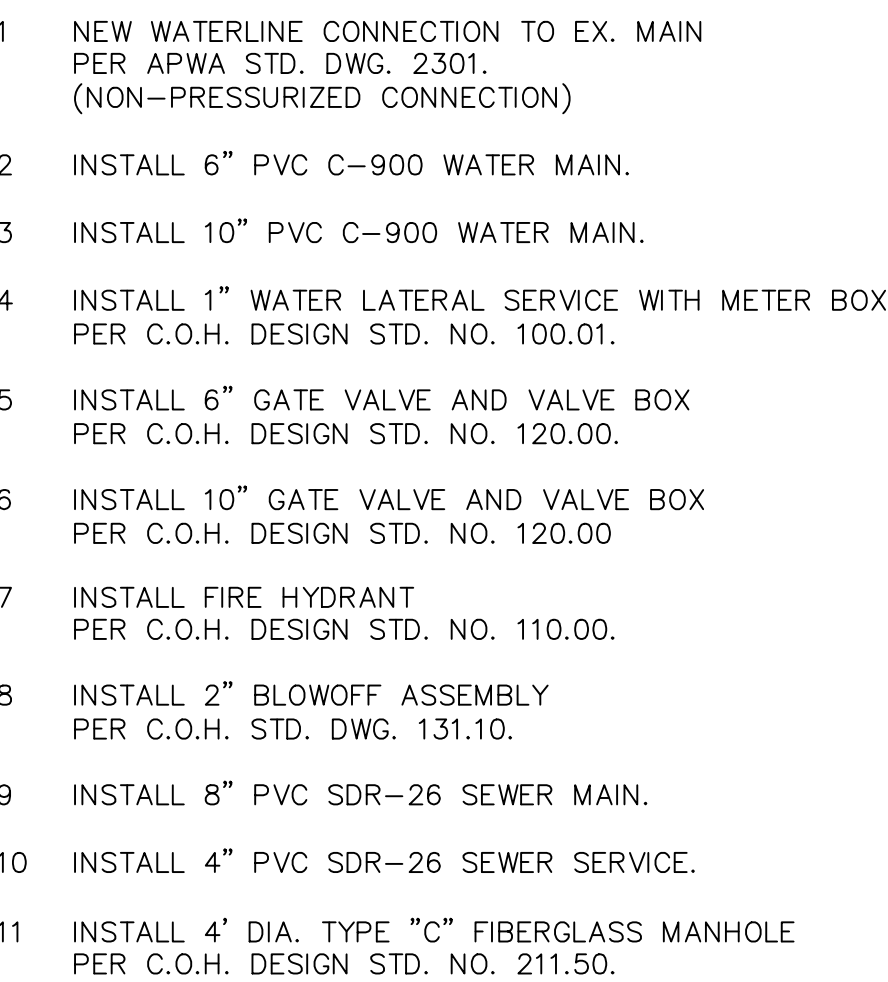

Fierro & Company
ENGINEERING | SURVEYING
3201 4th. STREET NW, SUITE C
ALBUQUERQUE, NM 87107
(505) 352-8930

CLIENT:

**JOHN LEMKE
D.B.A.
LEMKE DEVELOPMENT, INC.**

THE MEADOWS SUBDIVISION UNIT V
OVERALL UTILITY PLAN

SHEET	20	of	26
SET	5-0		
DATE	JANUARY 2024		
PROJ	23056		



SHEET LOCATION

MEADOWLANDS DR

JUNE GRASS RD

LILY POND RD

WOODBERRY CT

HONEYSUCKLE CT

FOX FIRE CT

W PONDEROSA DR

HOOT OWL CT

FROG LEAP CT

TURTLEBACK CT

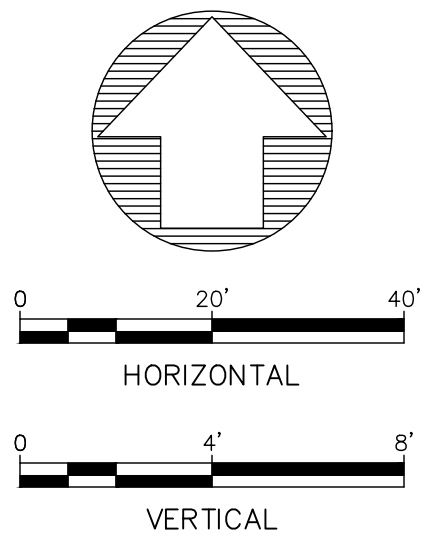
W COLLEGE LN

J-ROB ROAD

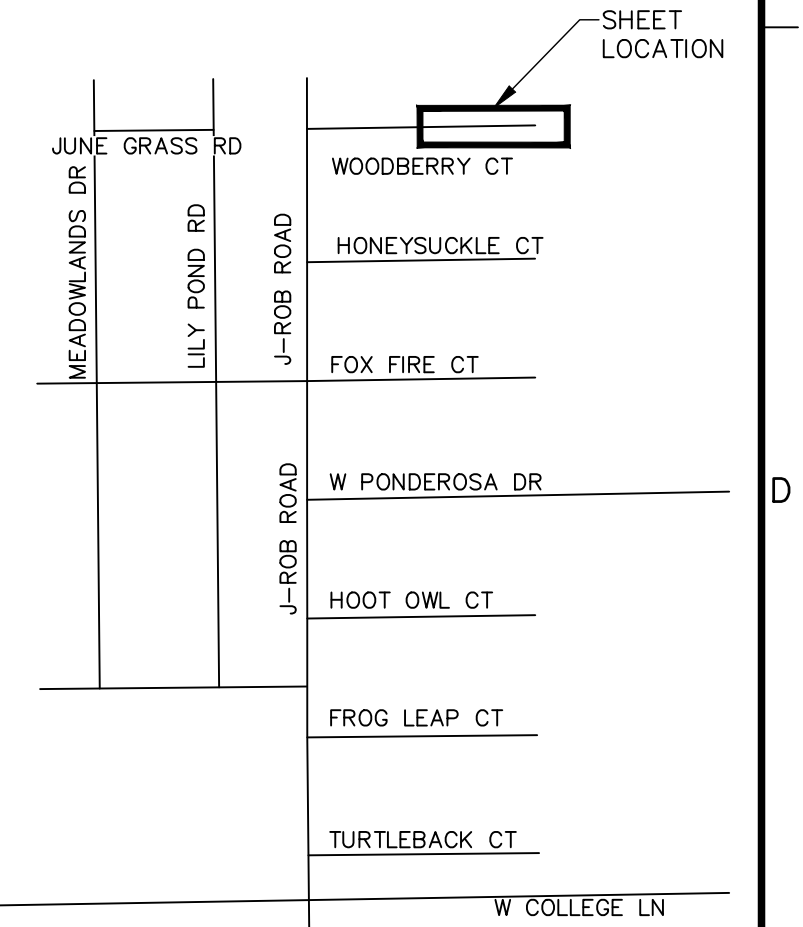
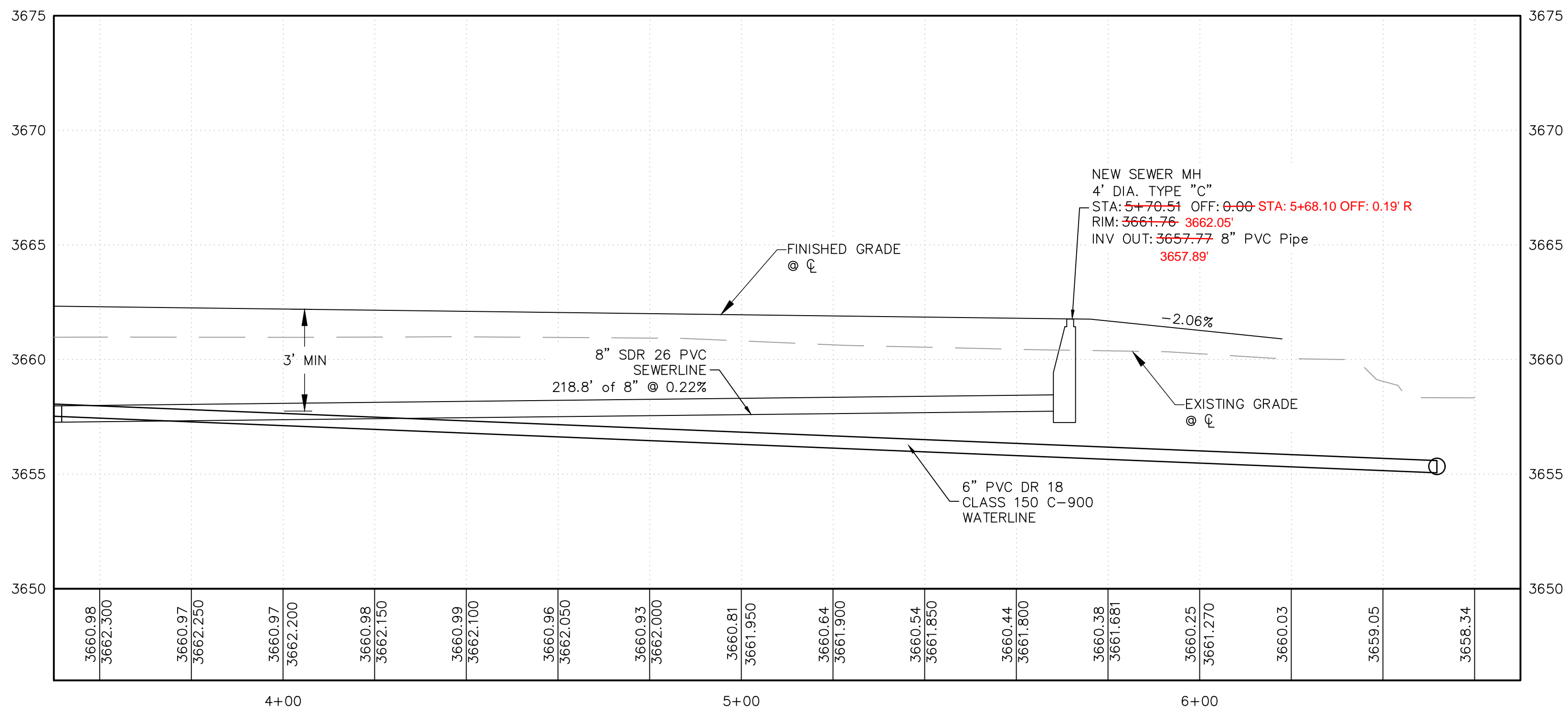
J-ROB ROAD

DESIGNED:	RJF							 Fierro & Company ENGINEERING SURVEYING 3201 4th. STREET NW, SUITE C ALBUQUERQUE, NM 87107 (505) 352-8930	CLIENT: JOHN LEMKE D.B.A. LEMKE DEVELOPMENT, INC.	THE MEADOWS SUBDIVISION UNIT V		SHEET 21 of 26
DRAWN:	JB									SET 5-1		
CHECKED:	RJF									DATE JANUARY 2024		
APPROVED:	###	1	5/8/24	RJF	UPDATED PLAN, ADDED NOTE FOR MANHOLE					PROJ 23056		
		NO.	DATE	BY	REVISION							

- NEW WATERLINE CONNECTION TO EX. MAIN
PER APWA STD. DWG. 2301.
(NON-PRESSURIZED CONNECTION)
- 2 INSTALL 6" PVC C-900 WATER MAIN.
- 3 INSTALL 10" PVC C-900 WATER MAIN.
- 4 INSTALL 1" WATER LATERAL SERVICE WITH METER BOX
PER C.O.H. DESIGN STD. NO. 100.01.
- 5 INSTALL 6" GATE VALVE AND VALVE BOX
PER C.O.H. DESIGN STD. NO. 120.00.
- 6 INSTALL 10" GATE VALVE AND VALVE BOX
PER C.O.H. DESIGN STD. NO. 120.00
- 7 INSTALL FIRE HYDRANT
PER C.O.H. DESIGN STD. NO. 110.00.
- 8 INSTALL 2" BLOWOFF ASSEMBLY
PER C.O.H. STD. DWG. 131.10.
- 9 INSTALL 8" PVC SDR-26 SEWER MAIN.
- 10 INSTALL 4" PVC SDR-26 SEWER SERVICE.
- 11 INSTALL 4" DIA. TYPE "C" FIBERGLASS MANHOLE
PER C.O.H. DESIGN STD. NO. 211.50.

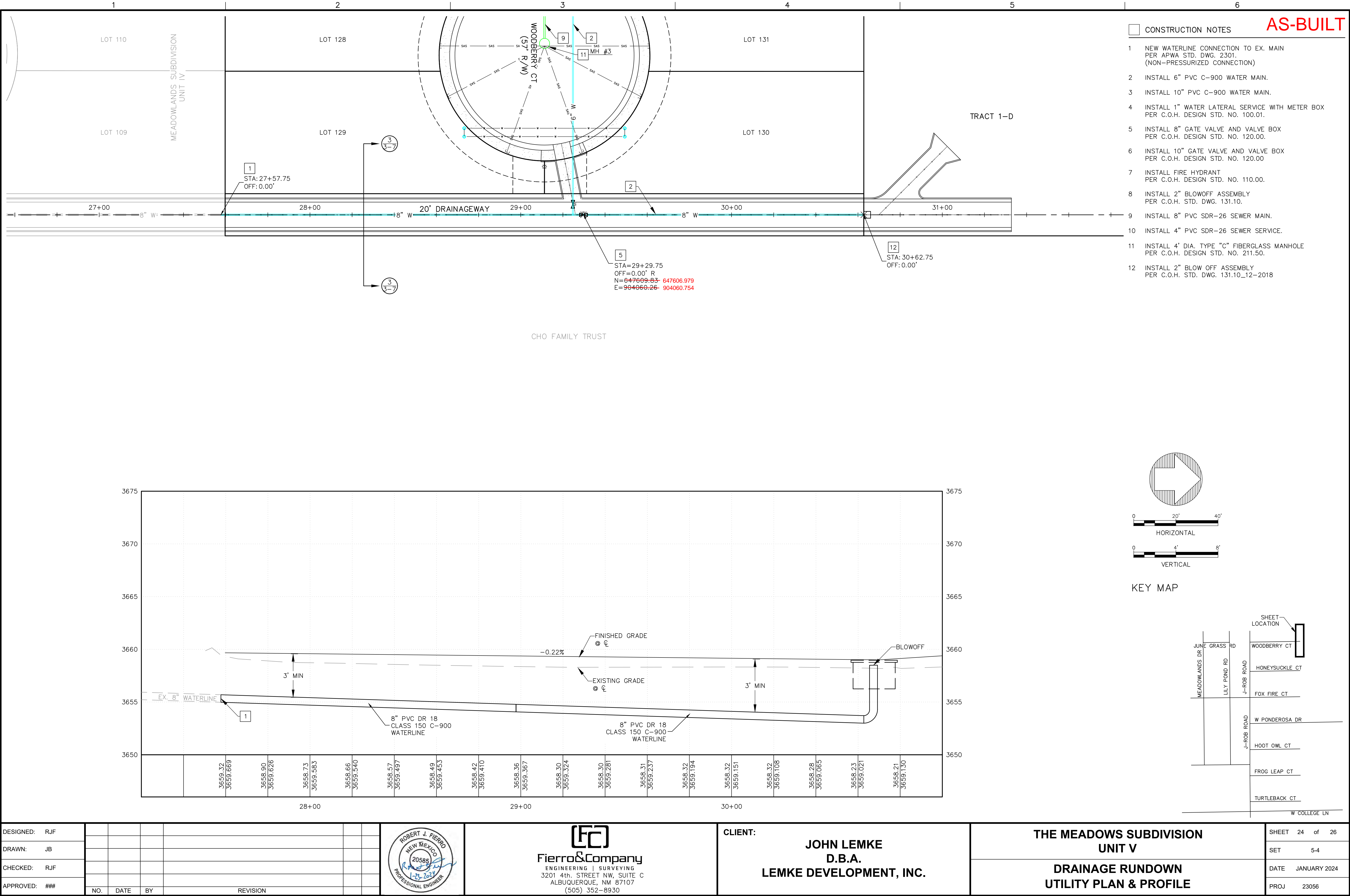


KEY MAP



DESIGNED: RJF							<div> Fierro & Company ENGINEERING SURVEYING 3201 4th. STREET NW, SUITE C ALBUQUERQUE, NM 87107 (505) 352-8930</div>	CLIENT: JOHN LEMKE D.B.A. LEMKE DEVELOPMENT, INC.	THE MEADOWS SUBDIVISION UNIT V	SHEET 23 of 26
DRAWN: JB					SET 5-3					
CHECKED: RJF									JUNE GRASS ROAD UTILITY PLAN & PROFILE	DATE JANUARY 2024
APPROVED: ###	NO.	DATE	BY	REVISION						PROJ 23056

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DESIGNED: RJF

DRAWN: JB

CHECKED: RJF

APPROVED: ###

NO.

DATE

BY

REVISION

ROBERT J. FIERRO

NEW MEXICO

20585

1-13-2023

PROFESSIONAL ENGINEER

Fierro & Company

ENGINEERING | SURVEYING

3201 4th. STREET NW, SUITE C

ALBUQUERQUE, NM 87107

(505) 352-8930

CLIENT:

JOHN LEMKE

D.B.A.

LEMKE DEVELOPMENT, INC.

THE MEADOWS SUBDIVISION

UNIT V

DRAINAGE RUNDOWN

UTILITY PLAN & PROFILE

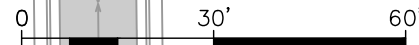
SHEET 24 of 26

SET 5-4

DATE JANUARY 2024

PROJ 23056

5



SHEET	25	of	26
SET	6-0		
DATE	JANUARY 2024		
PROJ	23056		

Review and Consider the ICIP deadlines for the 2027-2031 submission is due by July 11th, 2025.