

AGENDA
City of Hobbs Planning Board – Regular Meeting
September 20, 2022 at 10:00 AM

W.M. “Tres” Hicks, Chairman
Bill Ramirez
Brett Drennan
Larry Sanderson

Guy Kesner, Vice Chairman
Ben Donahue
Brett Clay

Tentative Agenda for the Planning Board Regular Session Meeting to be held on Tuesday, September 20, 2022 at 10:00 AM, at the City of Hobbs Annex Building, First Floor Commission Chambers located at 200 E. Broadway, Hobbs, NM 88240.

AGENDA

Call To Order and Roll Call.

- 1) Review and Consider Approval of Agenda.**
- 2) Review and Consider Approval of Minutes.**

August 16, 2022 – Regular Meeting

Communications from Citizens. (3-minute limit per citizen)

ACTION ITEMS

- 3) Review and Consider Preliminary Plan for The Habitat for Humanity Subdivision, located southwest of the intersection of W. Copper and Fowler, as submitted by property owner, Habitat for Humanity.**
- 4) Review and Consider Final Plat Approval for Liberty Crossing Unit 2, as presented by property owner, ALJO, LLC.**

DISCUSSION ITEMS

None.

Adjournment.

The City will make every effort to provide reasonable accommodations for people with disabilities who wish to attend a public meeting. Please notify the City at least 24 hours before the meeting. Telephone (575) 397-9232.

“Notice is hereby given that a quorum of the Hobbs City Commission may be in attendance at this meeting.”

**PLANNING BOARD MEETING
MINUTES
AUGUST 16, 2022**

The Hobbs Planning Board met on August 16, 2022, at 10:00 a.m. at the City of Hobbs Annex Building, First Floor Commission Chambers, located at 200 E. Broadway, Hobbs, NM 88240 with Mr. W.M. “Tres” Hicks, Chairman, presiding.

Members Present:

W.M. “Tres” Hicks, Chairman
Guy Kesner, Vice Chairman
Brett Clay
Ben Donahue

Members Absent

Larry Sanderson
Brett Drennan
Bill Ramirez

Also present were members of the public and City staff as follows:

Todd Randall, City Engineer
Amanda Ponce, GIS Tech
Bruce Reid, Lea County Planner
7 Citizens

Kevin Robinson, Development Director
April Hargrove, Engineering Assistant
Valerie Chacon, Deputy City Attorney

Call to Order and Roll Call

Mr. W.M. “Tres” Hicks, Chairman, did a roll call for members as follows:

Mr. Ramirez-absent, Mr. Sanderson-absent, Mr. Kesner-yes, Mr. Drennan-absent, Mr. Clay-yes, Mr. Donahue-yes, and Mr. Hicks-yes. There were four members present at the meeting.

Mr. Hicks called the meeting to order at 10:06 am.

1.) Review and Consider Approval of Agenda

The first item of business was to review and approve the agenda for August 16, 2022 meeting. Mr. Hicks asked if there were any additions or changes to the agenda. Mr. Robinson stated he would like to move item 8 before item 3 of the agenda. Mr. Donahue made a motion, seconded by Mr. Clay to approve the agenda as amended. The vote on the motion was 4-0 and the motion carried.

2.) Review and Consider Approval of Minutes

Mr. Hicks asked if everyone has had a chance to read the Regular Meeting Minutes from July 19, 2022. Mr. Kesner made a motion, seconded by Mr. Donahue to approve the Regular Meeting Minutes as presented. The vote was recorded as follows: Hicks yes, Kesner yes, Clay yes, Donahue yes. The vote on the motion was 4-0 and the motion carried.

Communications from Citizens

There were no communications from citizens.

Action Items

- 8) Review and Consider Variance Request from MC 15.32.030 - C(2) allowing a new facade sign to be emplaced with a sign face in excess of 144 square feet at 5440 A Street.**

Mr. Robinson stated this is a variance request for a façade sign to be placed at 5440 A Street. He explained Municipal Code 15.32.030 requires façade signage to be 144 square feet maximum. The developer is proposing to place 180 square feet façade sign. Mr. Robinson stated this is a non-leased space and that it will be the only sign allowed on that side façade. In response to Mr. Hicks's question regarding the size of the sign, Mr. Robinson stated the reason for the size of the sign is so that the sign can be visible from the street. Mr. Robinson explained the signage will be placed on the south side of the building and will be visible from Business Park Boulevard and A Street. Mr. Robinson stated all of the other signs on the building are compliant with the municipality rules and regulations.

Mr. Kesner made a motion to approve the variance, seconded by Mr. Donahue. The vote on the motion was 4-0 and the motion carried.

- 3) Public Hearing to Review and Consider a Special Use Map Amendment to create a Recreational Vehicle Park (RVP) Planning District per MC 18.04, located Southeast of the intersection of Navajo and Fowler at 301 E. Navajo.**

Mr. Robinson stated this is a public hearing to review and consider a Special Use Map amendment to create a Recreational Vehicle Park (RVP) located southeast of the intersection of Navajo and Fowler at 301 E. Navajo. He explained the first step of the process of approving the Recreational Vehicle Park (RVP) is to make sure the site is compliant with Municipal Code 18.04 and for the Board to consider if it is a good location for an RV park. He stated the developer has submitted a proposal for the RV park. Additionally, the Planning staff has sent a letter to the adjacent property owners notifying them of the developer's intent to construct an RV park. Mr. Robinson stated the Urban Growth Map is included in the packet. He further stated the Urban Growth Map is important because the Planning Board is adopting a report that states it is a good location and compliant with the rules and regulations for an RV park.

Mr. Hicks made a comment regarding the general intent of the Planning Boards and the action made at the last meeting. He explained the Planning Board made a comment for the developer to bring the application back to the Board with additional information. The normal action taken should have been to table the request as opposed to denying the request. Mr. Hicks stated the proposal was not included in the previous packet for the Board to review. He further stated he has read through the proposal and the intent for the Care-A-Vanners is to come 9

months out of the year to help construct habitat homes. The Planning Board made comments at the previous meeting regarding the possibility of the park becoming a fee park or public park. He explained the Planning Board can impose conditions on the permit so that does not happen. Mr. Hicks stated the submittal presented by Habitat for Humanity answers all the questions the Planning Board discussed at the last meeting.

Mr. Hicks stated it is the responsibility of the Planning Board to look to the possibility of the future and any changes in the usage of the park. He stated at the last meeting it was a general consensus of the Planning Board to limit the RV park to the south half of the property. It has been suggested that the Planning Board ask Richard Sanchez, Executive Director for Habitat for Humanity, to consider subdividing the RV park off of the main frontage with a flag pole lot so they have the ability to have a driveway that goes back to the RV park. He explained it would also allow the Board to approve the south half of the property.

Mr. Richard Sanchez, Executive Director for Habitat for Humanity, stated their intention is to locate the RV park at the back of the property. He expressed his concern regarding the fees to subdivide the property, but they will consider subdividing the property.

Mr. Hicks opened the public meeting at 10:10 a.m.

Mr. Sanchez stated Habitat for Humanity is a non-profit organization that offers affordable housing. He further stated their homes are truly affordable that help the citizens of Hobbs. He explained that the Care-A-Vanners help build these affordable homes for free. It is a great organization for the City of Hobbs. He stated they receive a lot of help and donations from several organizations.

Mr. Michael Mings expressed his concern regarding the speed limit on Navajo, from Dal Paso to the Lovington Highway. He stated there have been several accidents on Navajo and he does not want to see any more accidents due to the speed limit and the extra traffic.

Mr. Hicks closed the public hearing at 10:30 a.m.

Mr. Robinson responded that a deed restriction could be requested in order to limit the usage of the property, however, he stated that the staff is in favor of the subdivision process.

Mr. Clay inquired about the costs to subdivide the property. Mr. Clay offered to donate to Habitat for Humanity to help pay for the fees to subdivide the property.

Mr. Kesner made a motion, seconded by Mr. Donahue to approve the Special Use Map Amendment to create a Recreational Vehicle Park based on the stipulation that the property is subdivided. The vote on the motion was 4-0 and the motion carried.

Mr. Kesner explained to Mr. Sanchez the flag pole lot is on the east side of the parcel and the main tract will be on the south side of the property.

Mr. Hicks stated Pettigrew and Associates supports Habitat for Humanity and has discounted their fees to the organization for their work. They will also participate in that way.

4) Review and Consider the Vacation of a portion of Roxanna Street, Skelly Street, and the east\west alleyways within Block 31, 44 and 47 of the Humble City Subdivision located within the City of Hobbs ETJ.

Mr. Robinson stated this is a vacation of a portion of Roxanna Street, Skelly Street and the east and west alleyways with Block 31, 44, and 47 of the Humble City Subdivision located within the City of Hobbs ETJ. Mr. Robinson stated both governing authorities are going to have to approve the vacation. This process of a vacation takes public property and will change it into private property. The County maintains Gilbert Avenue, which means that it is always passable for emergency responders. Mr. Robinson confirmed with Bruce Reid, County Planner, that the County also maintains part of Texas Street. The other issue that will come up in the future is developing the lot. The municipality and the County require that a habitual structure has to be within 150 feet of the International Fire Code (IFC) roadway. Mr. Robinson stated the County maintains only IFC-compliant roadways. He explained the Board has to make sure every structure is accessible from an IFC roadway.

In response to Mr. Kesner's question, Mr. Robinson explained the municipality will require to extend the roadway when a permit is needed and obtained for construction.

Mr. Donahue made a motion, seconded by Mr. Clay. The vote on the motion was 4-0 and the motion carried.

5) Review and Consider Preliminary Plan for The Subdivision of Lots 3, 4, 11 and 12, Block 1 of the Azotea Subdivision, as submitted by property owner, Host, LLC.

Mr. Robinson stated this is the Preliminary Plan for the subdivision of Lots, 3, 4, 11 and 12, Block 1 of the Azotea Subdivision. It exceeds the 3 lots that the summary subdivision is allowed to create without needing Planning Board and Commission approval. Mr. Robinson stated the developer is working with the City of Hobbs Engineer on the north curb line on the north side of Apache serving the south lots of the subdivision. Mr. Robinson stated everything developing on the lot will be new construction and will be able to comply with all of the municipality rules and regulations.

Mr. Kesner made a motion to approve the preliminary plat, seconded by Mr. Donahue. The vote on the motion was 4-0 and the motion carried.

6) Review and Consider NDEY Subdivision, Unit 1 Final Plat Approval, as presented by property owner Maria Ndey.

Mr. Robinson stated this is the Final Plat approval for the NDEY Subdivision. Mr. Robinson stated there is an Engineer of Record certification for all infrastructure as per the preliminary plans and specifications. He stated the preliminary plat required a joint use driveway. Mr. Robinson stated the joint use driveway is not reflected on the final subdivision plat, but he is going to request the developer add it to the plat.

Mr. Donahue made a motion to approve the Final Plat with the addition of joint use driveway, seconded by Mr. Clay. The vote on the motion was 4-0 and the motion carried.

7) Review and Consider Final Plat Approval Westminster Hollow, Third Village, as presented by property owner, Del Norte Heights, Inc.

Mr. Robinson stated this is the Final Plat approval for Westminster Hollow, Third Village. He stated there is an Engineer of Record certification and there are additional items that need to be completed prior to going to the Commission for approval. The items are minor and should be completed prior to going to the Commission. Mr. Robinson stated the final plat matches the preliminary plat. In response to Mr. Hicks's question, Mr. Robinson stated it is compliant with the municipal code.

Mr. Donahue made a motion, seconded by Mr. Clay to approve the final plat. The vote on the motion was 3-1 with Mr. Kesner abstaining and the motion carried.

Mr. Kesner abstained from the vote due to his relationship with Del Norte Heights, Inc.

9) Review and Consider a front yard fence height variance for 205 E. Navajo. Navajo at this location is classified as a Major Arterial and exceeds the required ROW width of 110'. The COHMTP requires a 25' front yard setback for fences on a Major Arterial, the new Fence is proposed to be a 6' Cedar Picket Fence located at the PL (+/-36' from BOC).

Mr. Robinson stated this is a request for a front yard fence height variance for 205 E. Navajo. He stated this is a request for a 6' cedar picket fence. Mr. Hicks clarified that the new fence is going to be placed in the same place as the existing fence. Mr. Robinson explained once you touch a fence you have to make it compliant with the municipality rules and regulations. Mr. Robinson stated staff does not have any objections to the fence. He further stated the fence is located by an arterial street and since it exceeds the setback staff does not have the authority to approve the variance and that is why it was brought to the board.

Mr. Donahue made a motion, seconded by Mr. Kesner to approve the dedication plat as presented. The vote on the motion was 4-0 and the motion carried.

Discussion/Updates

10) Review proposed Ordinance to prohibit on street parking of commercial vehicles.

Mr. Robinson discussed the proposed ordinance to prohibit on-street parking of commercial vehicles. He stated the proposed ordinance was presented to the City Commission and was sent back to the Planning Board with changes. The latest ordinance prohibits Class 3 and above from parking on any street within the municipal boundaries of Hobbs.

In response to Mr. Hicks's question, Ms. Valerie Chacon, Deputy City Attorney, stated there have been officers designated to handle all parking violations. Mr. Robinson stated the Uniform Traffic Ordinance (UTO) only allows regulation on streets and does not authorize regulation on private property.

In response to Mr. Hicks's question about why this is being brought up to the Planning Board, Mr. Robinson stated the City has been receiving several complaints regarding commercial vehicles parking on City streets.

Mr. Clay expressed his concern regarding the commercial vehicle's parking on private property. Ms. Chacon explained the City Ordinance does not prohibit commercial vehicles from parking on private property.

The Planning Board had a lengthy discussion regarding the language in the ordinance, the weight of vehicles, and parking violations. Mr. Robinson stated the administration is wanting to have a joint work session with the Planning Board and the City Commission to discuss these issues. Mr. Hicks's stated that clarification is needed before meeting with the City Commission. He explained that the Planning Board will need to clarify what can be done or cannot be done relative to public/private spaces and dangerous vehicles or trailers and if it is covered by the rules.

Adjournment

With nothing further to discuss Mr. Kesner made a motion, seconded by Mr. Clay to adjourn. The meeting adjourned at 11:25 am. The vote on the motion was 4-0 and the motion carried.

W.M. "Tres" Hicks, Chairman

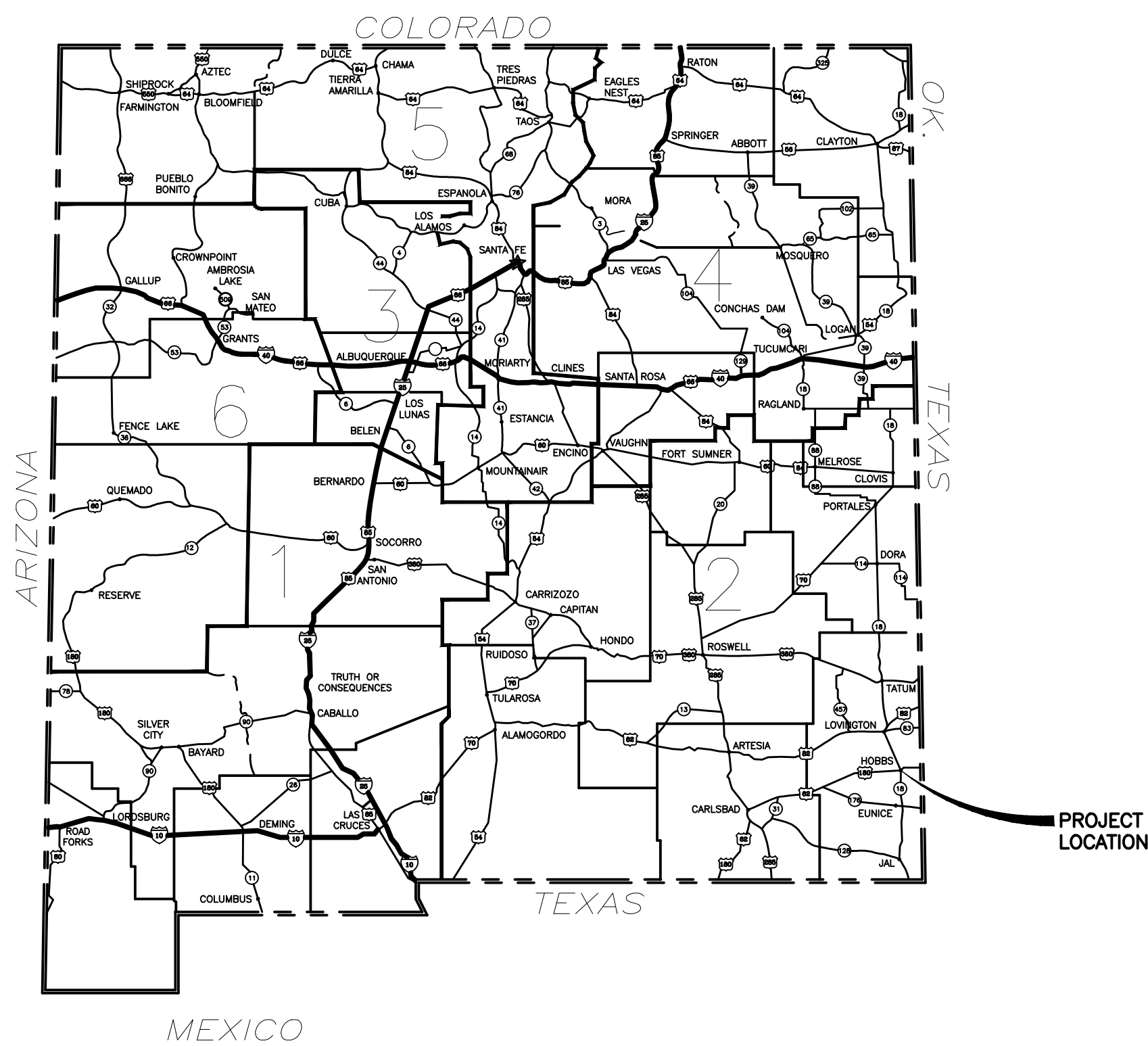
September 20, 2022
Planning Board Regular Meeting

- 3) **Review and Consider Preliminary Plan for The Habitat for Humanity Subdivision, located southwest of the intersection of W. Copper and Fowler, as submitted by property owner, Habitat for Humanity**

HABITAT FOR HUMANITY SUBDIVISION

HOBBS, LEA COUNTY, NEW MEXICO

APRIL, 2022



UTILITY SIGN OFF
CITY OF HOBBS
ZIA NATURAL GAS CO.
EXCEL ENERGY
WINDSTREAM
TDS
LEACO



DRAWING INDEX	
SHEET	DESCRIPTION
SH. 1-1	COVER
SH. 1-2	SITE PLAN - SUBDIVISION
SH. 1-3	ROADWAY, CURB & GUTTER, SIDEWALK DETAILS
SH. 1-4	ROADWAY PLAN AND PROFILE AND DRIVEWAY LOCATIONS
SH. 1-5	ROADWAY PLAN AND PROFILE ROJO DR. AND COPPER AVE.
SH. 1-6	SEWER PLAN AND LATERALS (W&S)
SH. 1-7	UTILITY DETAILS
SH. 1-8	STORM INLET DETAILS
SH. 1-9	ADA RAMP AND 60" VALLEY GUTTER DETAILS

HABITAT FOR HUMANITY
EXECUTIVE DIRECTOR

Richard Sanchez

ENGINEER

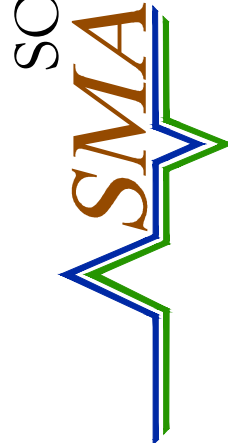
Russ Doss P.E.



To Request a Line Locate Dial 811

New Mexico state law requires everyone involved in any excavation to provide at least two working days' notice to owners of underground facilities when a dig is planned. All facility owners are then required to mark the locations of any underground lines or take other appropriate measures to protect them.

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HOBBS, NM

COVER
HABITAT FOR HUMANITY SUBDIVISION

HABITAT FOR HUMANITY

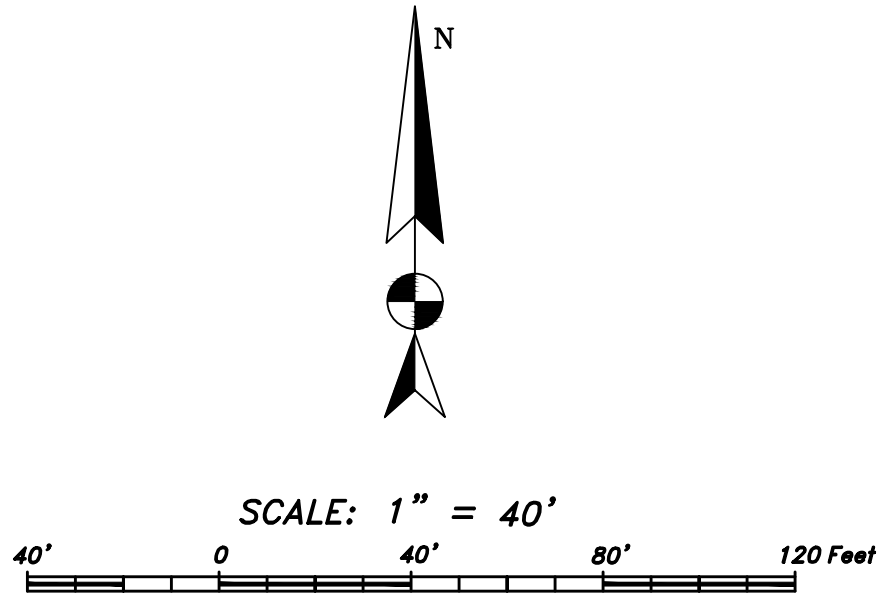
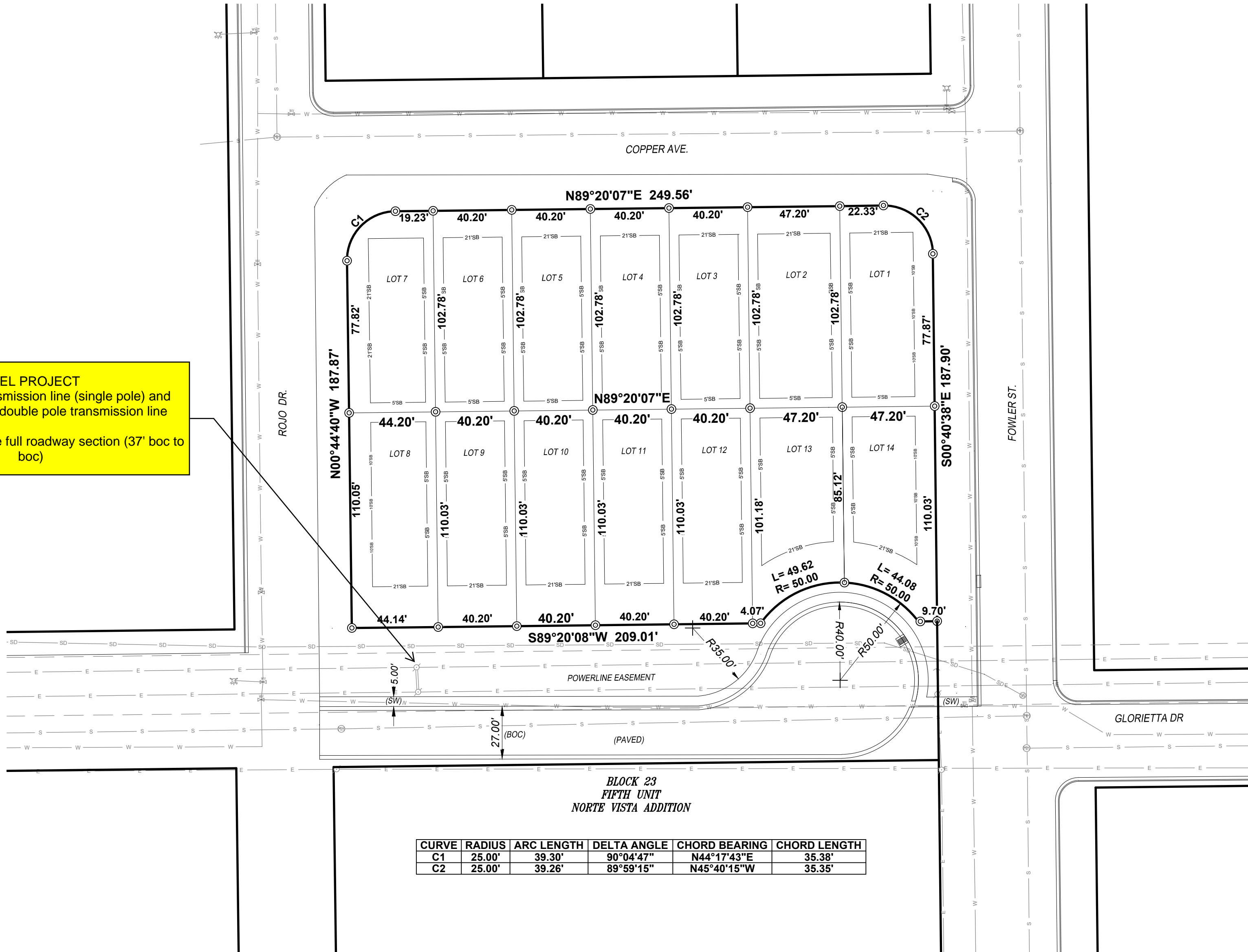
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Date: April 2022		
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Project No: 9C30190		
Sheet: 1-1		

Rev #	Date	Description

HABITAT FOR HUMANITY
SUBDIVISION

XCEL PROJECT
Installing new transmission line (single pole) and
removing existing double pole transmission line

Coordinate to provide full roadway section (37' boc to
boc)



- LEGEND:**
- ⊙ - DENOTES SET 1/2" STEEL ROD W/CAP MARKED "JWSC P.S. 12641"
 - - DENOTES FOUND 1/2" STEEL ROD
 - ⊕ - DENOTES STORM SEWER MANHOLE
 - ⚡ - DENOTES FIRE HYDRANT
 - - DENOTES GUY/ANCHOR WIRE
 - - DENOTES SEWER LINE W/MANHOLE
 - - DENOTES STORM SEWER DRAIN LINE W/INLET & GRATE
 - - DENOTES WATER LINE W/VALVE
 - - DENOTES ELECTRIC LINE W/UTILITY POLE
 - - DENOTES 5' BUILDING SETBACK LINE
 - - DENOTES 21' BUILDING SETBACK LINE

HOBBS, NM

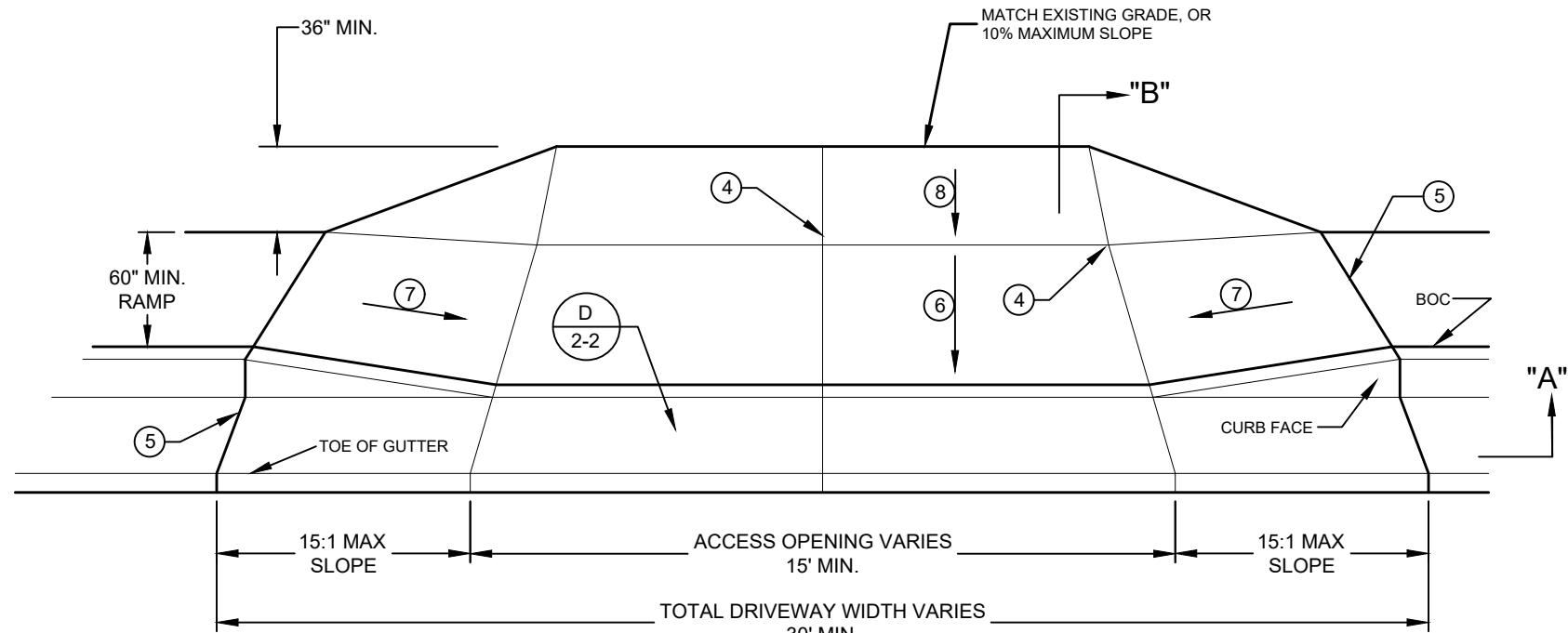
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Rev #	Date	Description

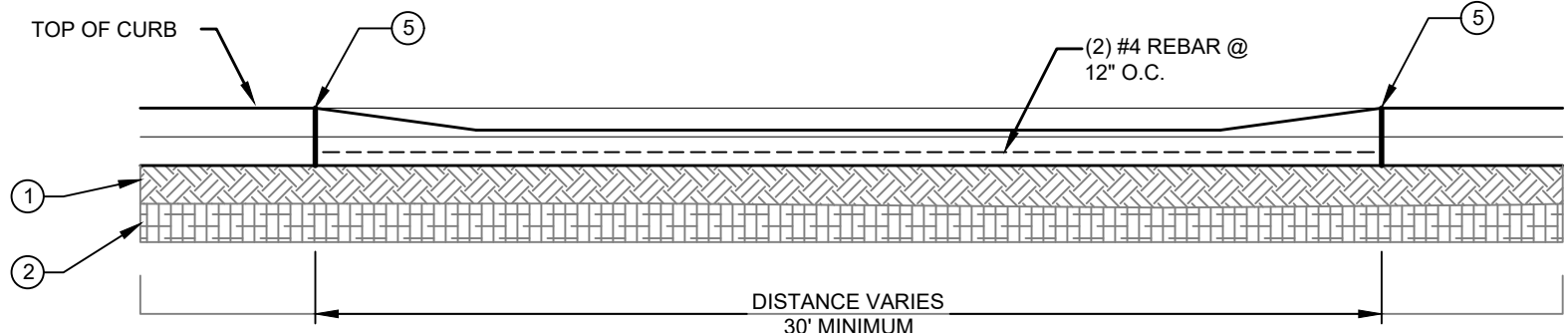
HABITAT FOR HUMANITY

SITE PLAN
HABITAT FOR HUMANITY SUBDIVISION

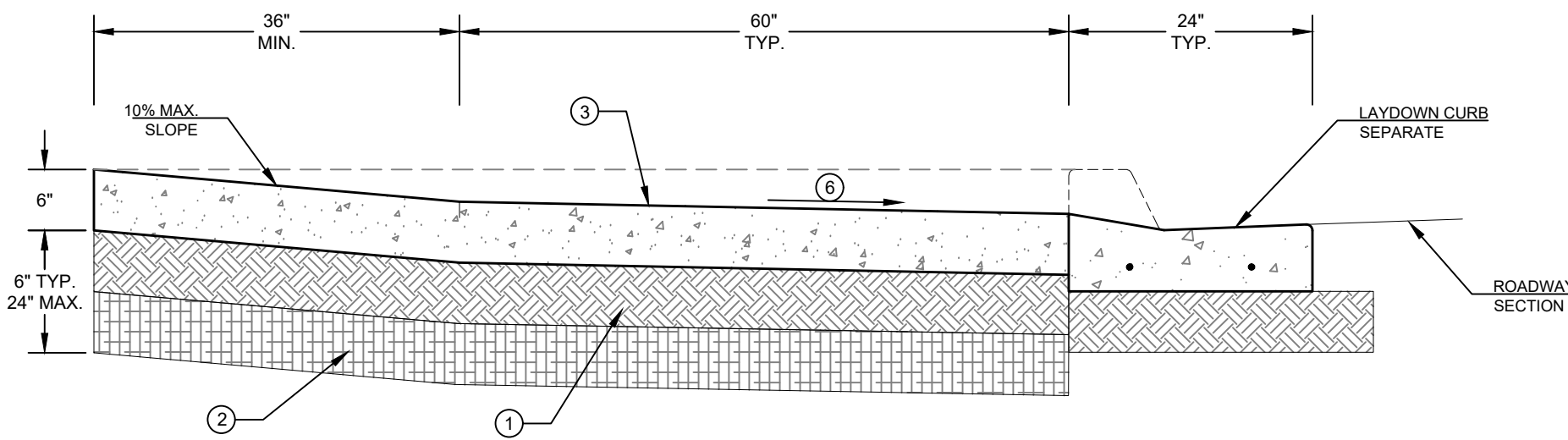
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Project No: 9C30190		
Sheet: 1-2		



DRIVEPAD 6" - TYPICAL
NOT TO SCALE



SECTION A



SECTION B

608106 - DRIVEPAD 6"
NOT TO SCALE

DRIVEPAD KEYED NOTES:

- 1 PROVIDE 6" BED COURSE MATERIAL THAT CONSISTS OF CINDERS, SAND, GRAVEL, CRUSHED STONE, OR OTHER GRANULAR AGGREGATE, WITH 100% PASSING A 1/2 INCH SIEVE AND NOT MORE THAN 12% PASSING A NO. 200 SIEVE, OR TYPE I OR TYPE II BASE COURSE, AS PER SECTION 303 OF THE NMDOT STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION 2019 EDITION. COMPACT BED COURSE/BASE COURSE TO A MINIMUM OF 96% PER AASHTO T-180. NO SEPARATE MEASUREMENT OR PAYMENT WILL BE MADE FOR BED COURSE OR BASE COURSE
- 2 PROOF ROLL EXISTING SUBGRADE (INCIDENTAL). REMOVE UNSTABLE MATERIAL, AS DIRECTED BY THE PROJECT MANAGER, TO A MAXIMUM DEPTH OF 18" (BID ITEM 203200 SUBEXCAVATION). BACKFILLING SUBEXCAVATED AREAS SHALL BE INCIDENTAL TO (BID ITEM 203200 SUBEXCAVATION).
- 3 6" CONCRETE DRIVEPAD
- 4 1/4" GROOVE JOINT AS SHOWN
- 5 1/2" EXPANSION JOINT AS SHOWN
- 6 SHALL NOT EXCEED 2%
- 7 6.67% SLOPE
- 8 SLOPE VARIES 10% MAXIMUM ALLOWABLE

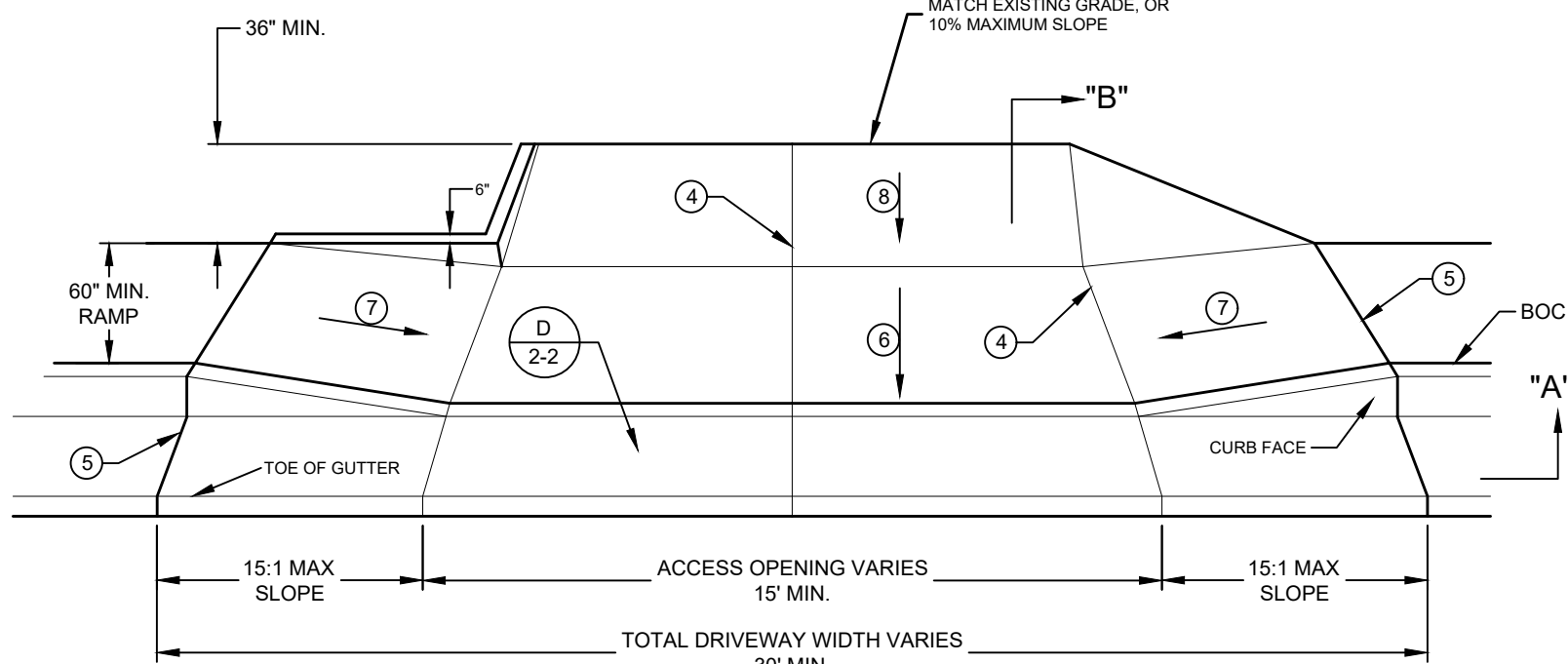
DRIVEPAD GENERAL NOTES:

SEAL ALL EXPANSION JOINTS

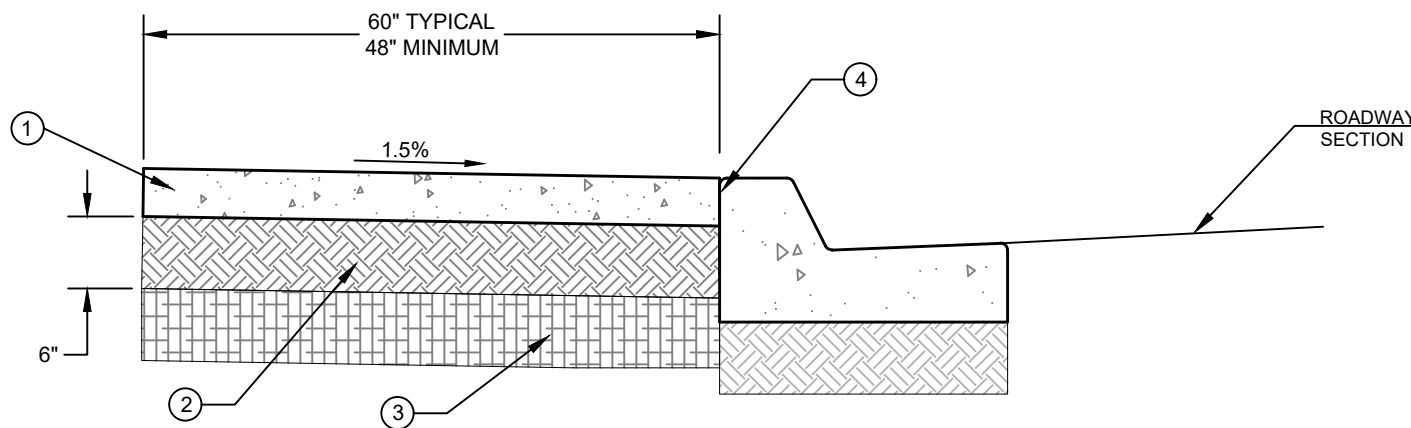
DRIVEPAD-6" ALTERNATE. WILL BE MEASURED AND PAID FOR AS 6" DRIVEPAD. BUILD 6" ALTERNATE DRIVEPAD WHEN RIGHT OF WAY, BUILDINGS, FENCES, UTILITY POLES, ETC. LIMIT THE AREA REQUIRED FOR TYPICAL 6" DRIVEPAD.

COMPACT BED COURSE MATERIAL TO A DENSITY OF AT LEAST 96% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO

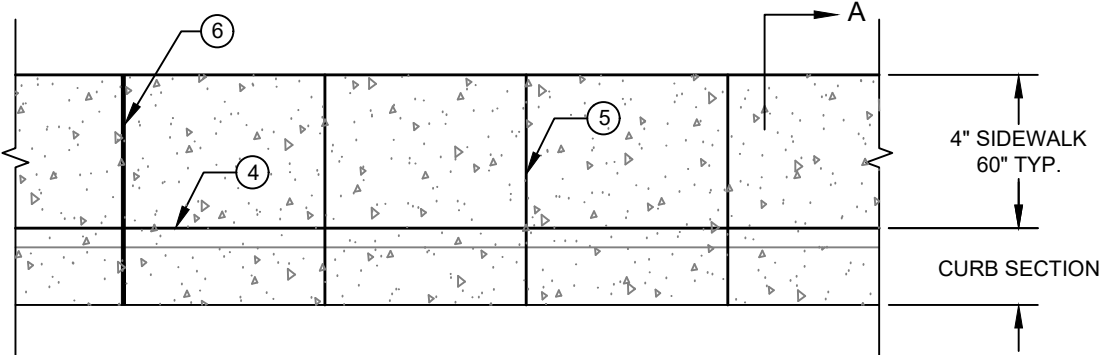
ALL CONCRETE SHALL CONTAIN ANTI-CRACK HD (AR) GLASS FIBER REINFORCEMENT OR APPROVED EQUAL AT A MINIMUM RATE OF 1.5 LB. PER CUBIC YARD



DRIVEPAD 6" - ALTERNATE
NOT TO SCALE



SECTION A



PLAN

608004 - CONCRETE SIDEWALK 6"
NTS

SIDEWALK KEYED NOTES:

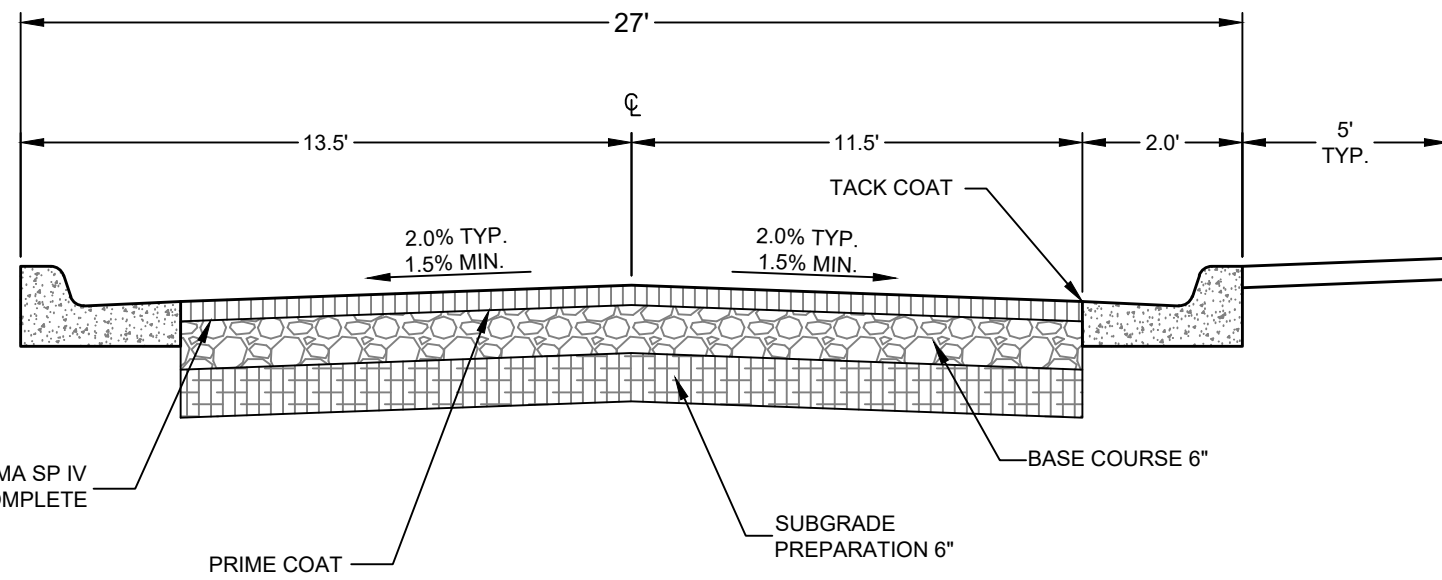
- 1 INSTALL CONCRETE SIDEWALK - 6"
- 2 PROVIDE 6" BED COURSE MATERIAL THAT CONSISTS OF CINDERS, SAND, GRAVEL, CRUSHED STONE, OR OTHER GRANULAR AGGREGATE, WITH 100% PASSING A 1/2 INCH SIEVE AND NOT MORE THAN 12% PASSING A NO. 200 SIEVE, OR TYPE I OR TYPE II BASE COURSE, AS PER SECTION 303 OF THE NMDOT STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION 2019 EDITION. COMPACT BED COURSE/BASE COURSE TO A MINIMUM OF 90% PER AASHTO T-180. NO SEPARATE MEASUREMENT OR PAYMENT WILL BE MADE FOR BED COURSE OR BASE COURSE
- 3 EXISTING SUBGRADE MATERIAL
- 4 COLD JOINT
- 5 1/4" GROOVE JOINT AS SHOWN
- 6 1/2" EXPANSION JOINT AS SHOWN

SIDEWALK GENERAL NOTES:

ALL CONCRETE SHALL CONTAIN ANTI-CRACK FIBER REINFORCEMENT

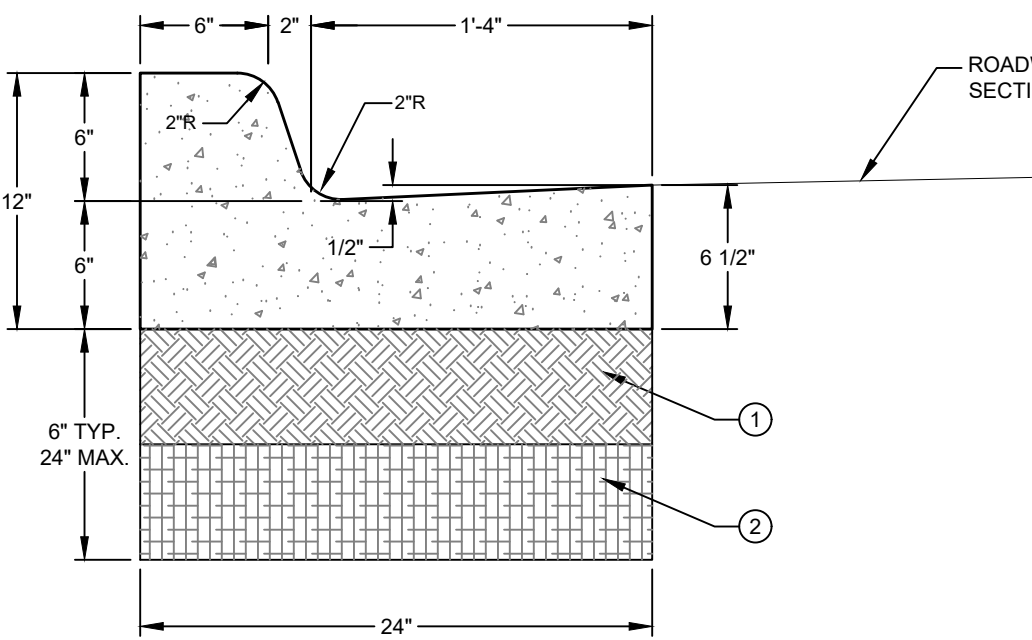
COMPACT BED COURSE MATERIAL TO A DENSITY OF AT LEAST 90% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180.

NOTE: SIDEWALK ON NORTH SIDE OF ROADWAY ONLY



ROADWAY TYPICAL SECTION

NTS



609500 - STANDARD CURB & GUTTER
NOT TO SCALE

CURB & GUTTER KEYED NOTES:

- 1 PROVIDE 6" BED COURSE MATERIAL THAT CONSISTS OF CINDERS, SAND, GRAVEL, CRUSHED STONE, OR OTHER GRANULAR AGGREGATE, WITH 100% PASSING A 1/2 INCH SIEVE AND NOT MORE THAN 12% PASSING A NO. 200 SIEVE, OR TYPE I OR TYPE II BASE COURSE, AS PER SECTION 303 OF THE NMDOT STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION 2019 EDITION. COMPACT BED COURSE/BASE COURSE TO A MINIMUM OF 96% PER AASHTO T-180. NO SEPARATE MEASUREMENT OR PAYMENT WILL BE MADE FOR BED COURSE OR BASE COURSE
- 2 PROOF ROLL EXISTING SUBGRADE (INCIDENTAL). REMOVE UNSTABLE MATERIAL, AS DIRECTED BY THE PROJECT MANAGER, TO A MAXIMUM DEPTH OF 18" (BID ITEM 203200 SUBEXCAVATION). BACKFILLING SUBEXCAVATED AREAS SHALL BE INCIDENTAL TO (BID ITEM 203200 SUBEXCAVATION).

CURB & GUTTER GENERAL NOTES:

PROOF ROLL SUBGRADE PRIOR TO INSTALLING NEW TYPE II BED COURSE

ALL CONCRETE SHALL CONTAIN ANTI-CRACK HD (AR) GLASS FIBER REINFORCEMENT OR APPROVED EQUAL AT A MINIMUM RATE OF 1.5 LBS. PER CUBIC YARD.

ALL CURB AND GUTTER SHALL HAVE 1/2" EXPANSION JOINTS ON 30' O.C. MAXIMUM, AND AT ALL CURB RETURNS.

ALL CURB AND GUTTER SHALL HAVE 1/4" GROOVE JOINTS ON 5' O.C. TO CORRESPOND WITH THE LOCATION OF THE 1/4" GROOVE JOINTS IN THE SIDEWALK IF APPLICABLE.

SEAL ALL EXPANSION JOINTS WITH SILICONE JOINT SEALER

BUILD CONCRETE LAYDOWN CURB 6" AT ALL DRIVEPAD OPENING.

THERE WILL NO ADDITIONAL MEASUREMENT OR PAYMENT FOR STEEL REINFORCEMENT (REBAR)

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HABITAT FOR HUMANITY

ROADWAY, CURB AND GUTTER, SIDEWALK DETAILS
HABITAT FOR HUMANITY SUBDIVISION

Designed SMA	Drawn SMA	Checked RD
Date: April 2022		
Scale: Horiz: horiz Vert: vert		
Project No: 9C30190		
Sheet: 1-3		

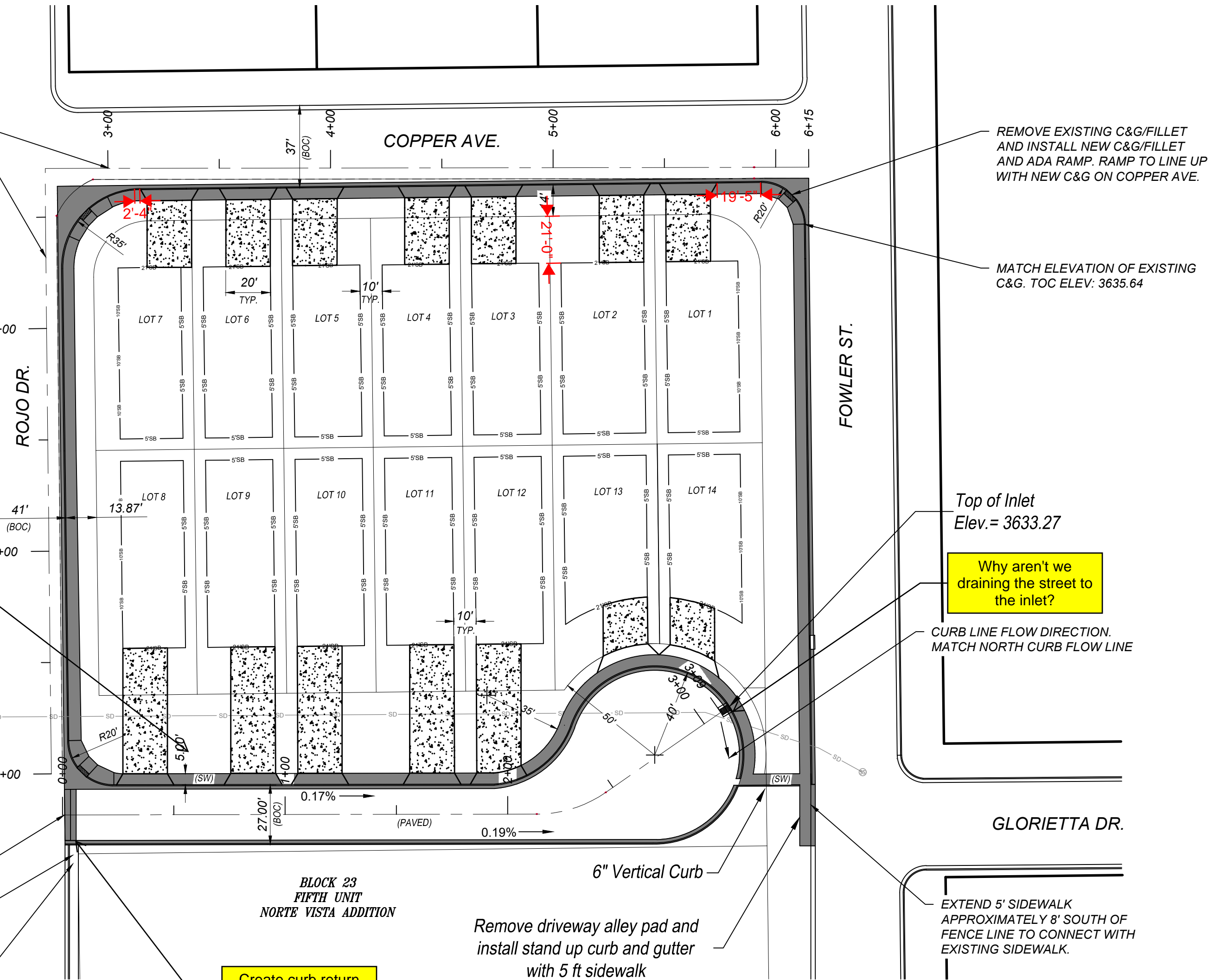
NOTE: 5' SIDEWALK WILL BE
ADDED ADJACENT TO C&G NEXT
TO ALL NEW LOTS.

XCEL PROJECT
Installing new transmission line (single pole) and
removing existing double pole transmission line
Coordinate to provide full roadway section (37' boc to
boc)

TRANSITION FROM 60" VG TO EXISTING
S.W. AND C&G WITH ADA RAMP. SAW
CUT AND REMOVE 3' OF EXISTING C&G.

NEW 60" VALLEY GUTTER
EXISTING 4' SIDEWALK
WITH C&G

SAWCUT PAVEMENT AND REMOVE
5' FROM PAVEMENT EDGE



Create curb return
(assuming a min.
R10' is feasible?)

Remove driveway alley pad and
install stand up curb and gutter
with 5 ft sidewalk

Why aren't we
draining the street to
the inlet?

CURB LINE FLOW DIRECTION.
MATCH NORTH CURB FLOW LINE

EXTEND 5' SIDEWALK
APPROXIMATELY 8' SOUTH OF
FENCE LINE TO CONNECT WITH
EXISTING SIDEWALK.

GLORIETTA DR.

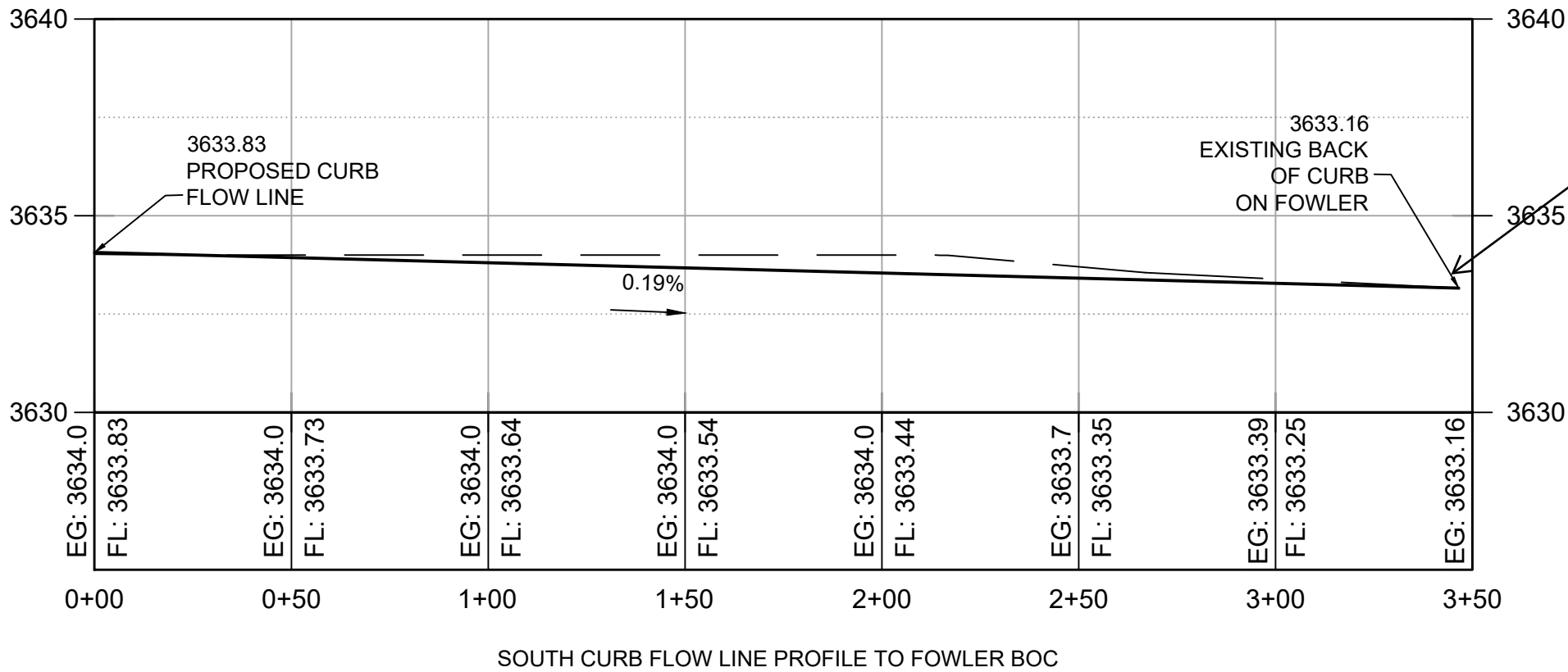
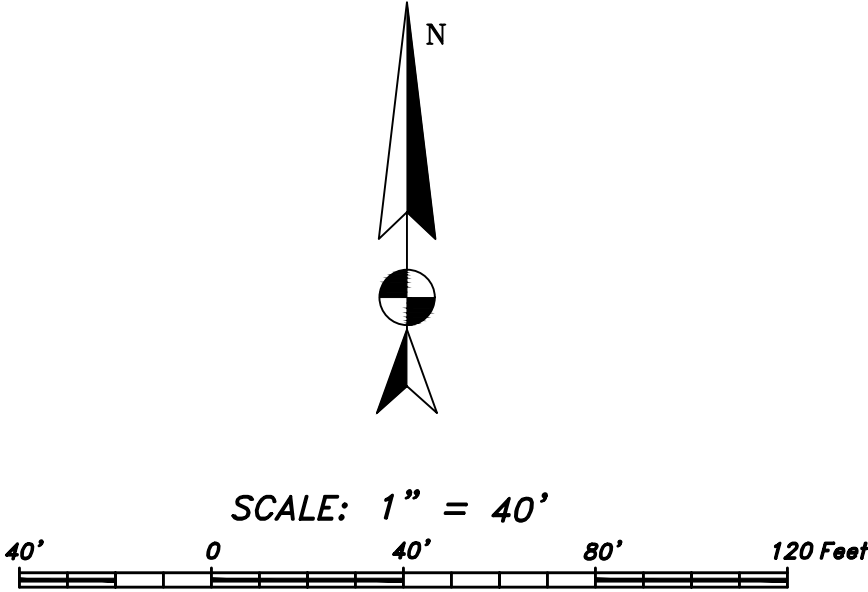
Top of Inlet
Elev.= 3633.27

REMOVE EXISTING C&G/FILLET
AND INSTALL NEW C&G/FILLET
AND ADA RAMP. RAMP TO LINE UP
WITH NEW C&G ON COPPER AVE.

MATCH ELEVATION OF EXISTING
C&G. TOC ELEV: 3635.64

LEGEND:

- DENOTES SOUTH CURB LINE PROFILE TO FOWLER BOC
- DENOTES EXISTING GRADE



Why aren't we
draining the street to
the inlet?

Rev #	Date	Description

SMA

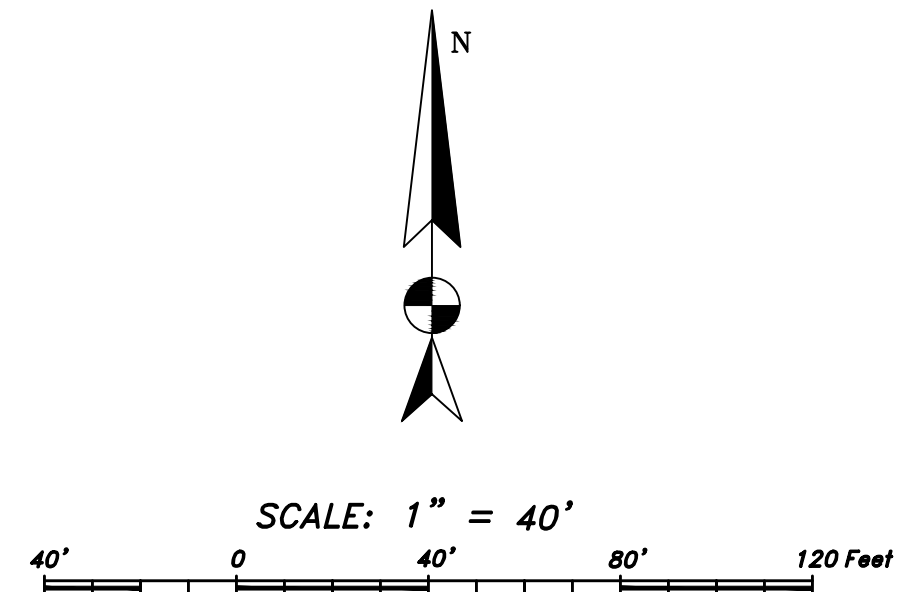
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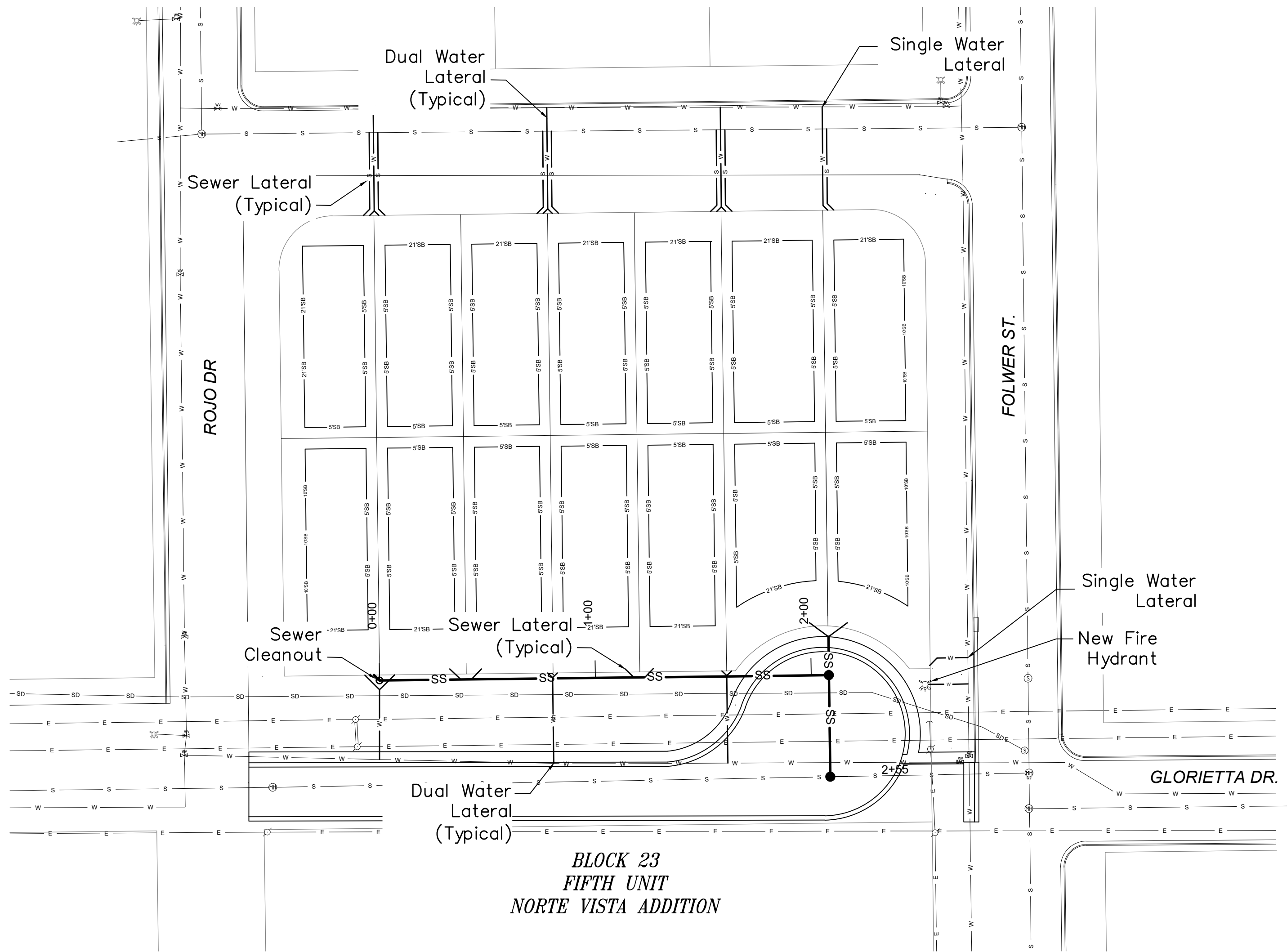
HABITAT FOR HUMANITY

ROADWAY PLAN AND PROFILE
AND DRIVEWAY LOCATIONS
HABITAT FOR HUMANITY SUBDIVISION

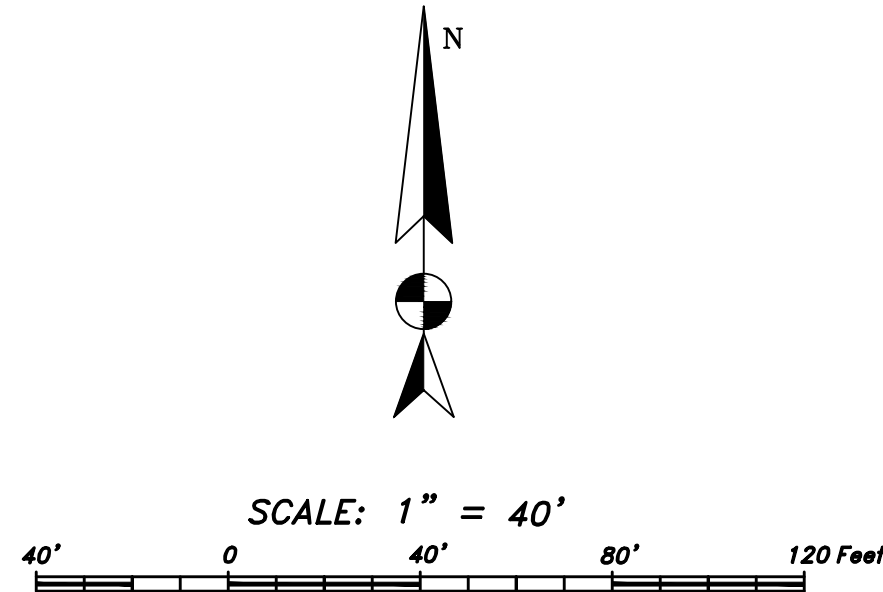
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Date: April 2022		
Scale: Horiz: horiz Vert: vert		
Project No: 9C30190		
Sheet: 1-4		



HOBBS, NM ROADWAY PLAN AND PROFILE ROJO DR. AND COPPER AVE. HABITAT FOR HUMANITY SUBDIVISION			SOUDER, MILLER & ASSOCIATES Serving the Southwest & Rocky Mountains 5454 Venice Avenue NE, Suite D Albuquerque, NM 87113 Phone (505) 299-0942 Fax (505) 293-3430 www.soudermiller.com		
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Date: April 2022 Scale: Horiz: horiz Vert: vert Project No: 9C30190 Sheet: 1-5					

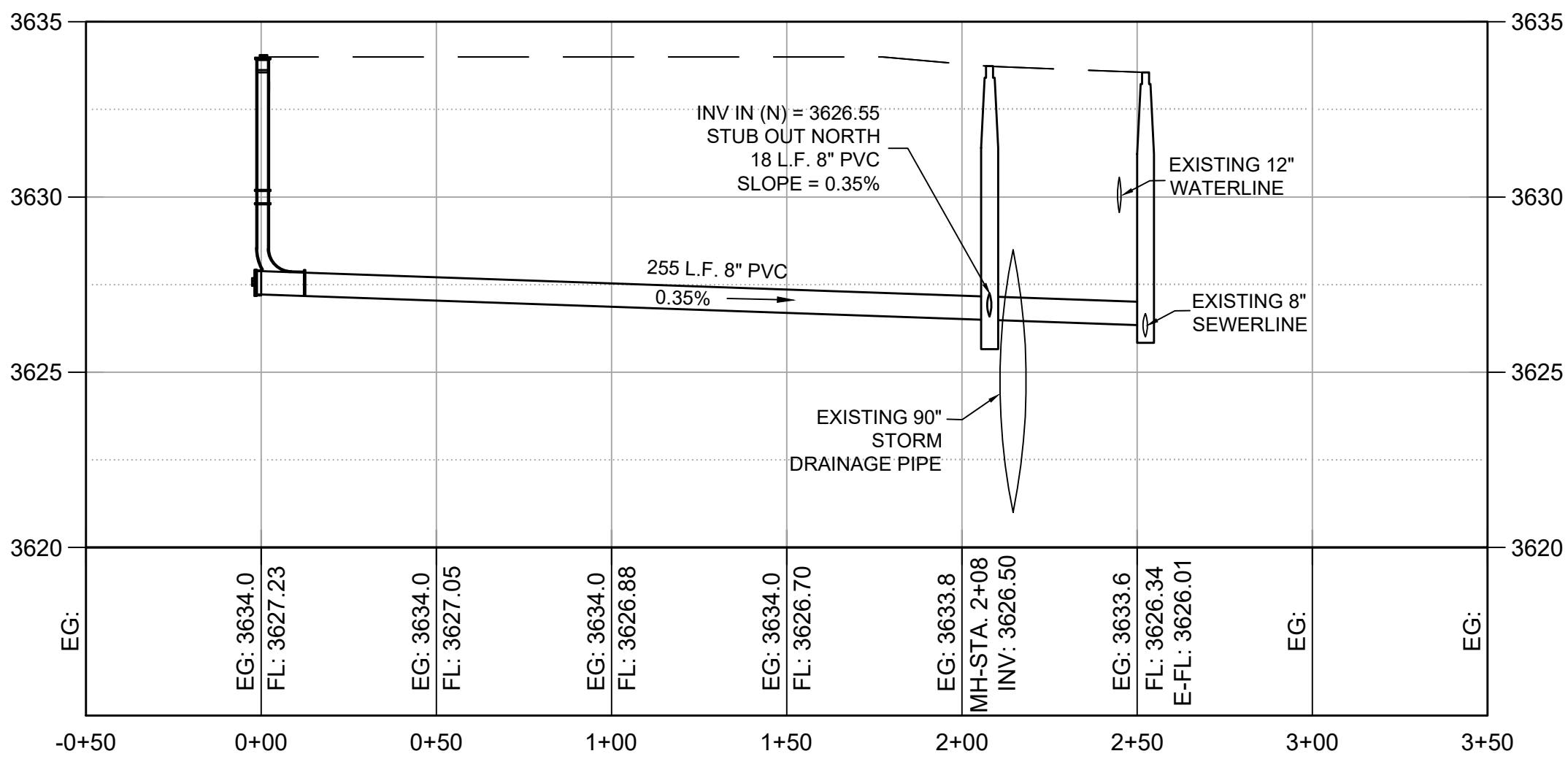


BLOCK 23
FIFTH UNIT
NORTE VISTA ADDITION



LEGEND:

- DENOTES SANITARY SEWER CLEANOUT
- DENOTES SANITARY SEWER MANHOLE
- DENOTES FIRE HYDRANT
- DENOTES GUY/ANCHOR WIRE
- DENOTES SEWER LINE W/MANHOLE
- DENOTES STORM SEWER DRAIN LINE W/INLET & GRATE
- DENOTES WATER LINE W/VALVE
- DENOTES ELECTRIC LINE W/UTILITY POLE
- DENOTES 5' BUILDING SETBACK LINE
- DENOTES 21' BUILDING SETBACK LINE
- DENOTES WATER LATERAL
- DENOTES SEWER LATERL



Rev #	Date	Description

SMA

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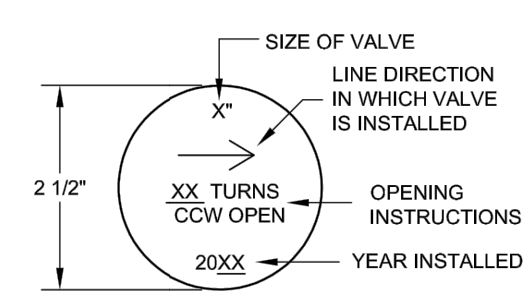
Albuquerque, NM 87113

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HOBBS, NM	HABITAT FOR HUMANITY	SEWER PLAN AND LATERALS (W&S) HABITAT FOR HUMANITY SUBDIVISION
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Designed SMA	Drawn SMA	Checked RD
Date: April 2022		
Scale: Horiz: horiz Vert: vert		
Project No: 9C30190		
Sheet: 1-6		



2 1/2" STAMPED BRASS MARKER

GENERAL NOTES

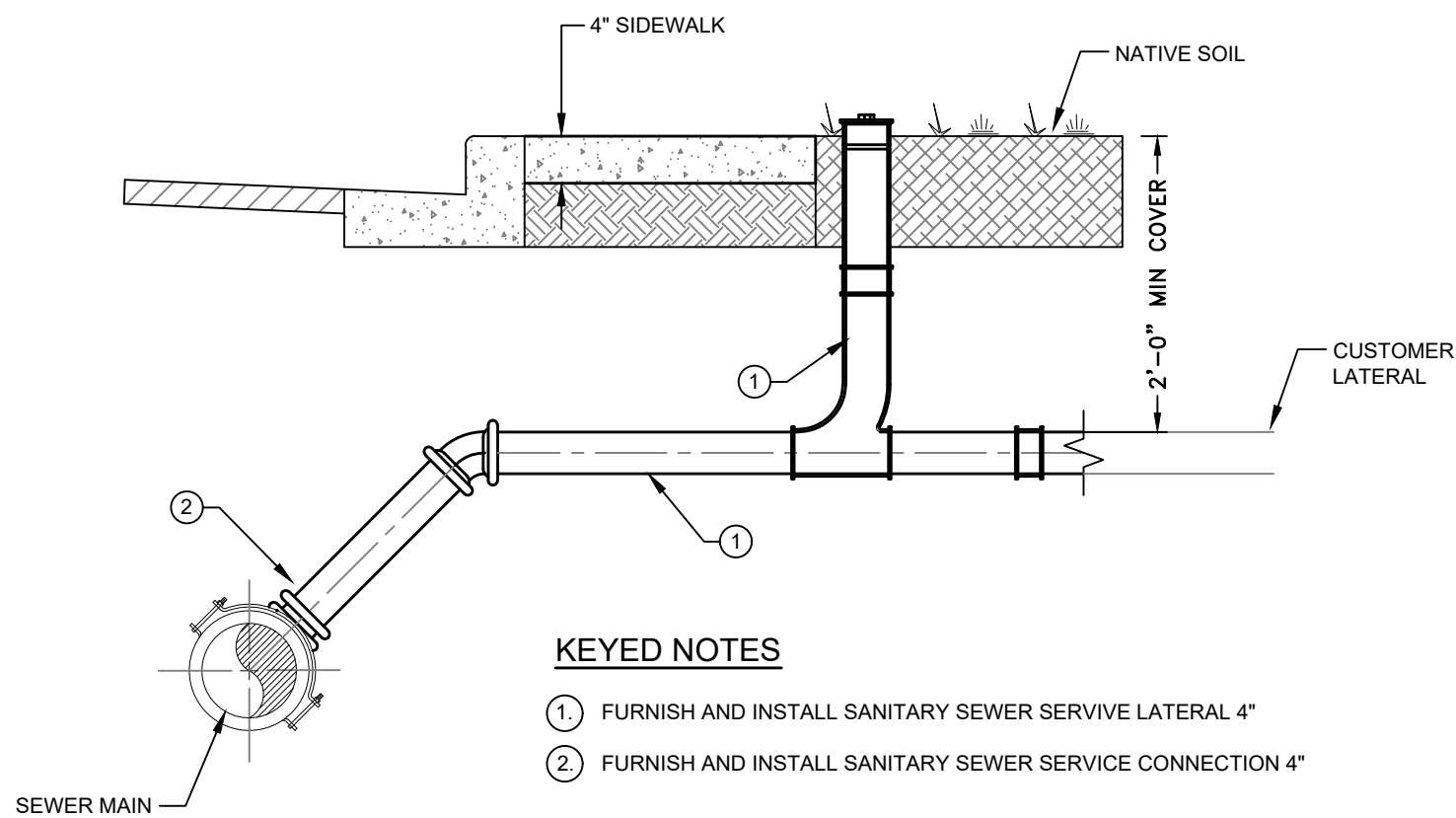
1. VALVE BOX LOCATION TO BE APPROVED BY THE CITY.
2. MECHANICAL RESTRAINT JOINT SHALL BE EBAA IRON OR CITY ENGINEER APPROVED EQUAL.
3. ALL BACKFILL SHALL BE PLACED IN 8" LIFTS AND COMPACTED TO 95% OF ASTM D-1557 DRY DENSITY.
4. IF A VALVE IS REQUIRED FOR THE IMMEDIATE FUTURE EXPANSION OF A WATER SYSTEM, A CITY ENGINEER APPROVED CAP OR PLUG SHALL BE INSTALLED A MIN. OF 10' FROM VALVE.
5. FIRE LID SHALL BE USED FOR FIRE LINE AND FIRE HYDRANT VAVLES

- 1 COVER MARKED "WATER" (OR "FIRE" FOR FIRE LINE AND FIRE HYDRANTS) AND VALVE BOX RING
- 2 1/2" TOOLED RADIUS (TYP.)
- 3 PAVEMENT TO BE FLUSH WITH CONCRETE COLLAR
- 4 1/2 INCH FOR GRAVEL AND DIRT INSTALLATIONS
- 5 6 INCH THICK X 24 INCH SQ. 4000 PSI CONCRETE COLLAR W/ #4 REBAR CENTERED EACH WAY
- 6 ADJUSTABLE CAST IRON VALVE BOX, BARREL TO BE SLIP TYPE IN TRAFFIC AREAS
- 7 5' MAX DEPTH FROM FINISHED GRADE SURFACE TO OPERATING NUT, DEEPER INSTALLATIONS REQUIRE EXTENSION FIXED TO THE VALVE STEM, AS PER MANUFACTURER RECOMMENDATION (MUELLER A26441 OR APPROVED EQUAL)
- 8 WARNING TAPE
- 9 VALVE SUPPORT, REFER TO DESIGN STANDARD NO. 121.00
- 10 MJ FITTINGS TYP.
- 11 COMPACTED BACKFILL SOIL TO 95% MODIFIED PROCTOR
- 12 SOLID CONCRETE BRICKS UNDER VALVE BOX (OPTIONAL)

THE CONTRACTOR SHALL FURNISH AND INSTALL PRE-STAMPED SOLID BRASS MARKER. SOLID BRASS MARKERS SHALL HAVE A 2" SHANK, AND 2 1/2" DOME HEAD. BEN MEADOWS COMPANY NO. 3JB-101325 OR EQUIVALENT. SEE DETAIL THIS SHEET FOR REQUIRED MARKINGS

663855 - ADJUST VALVE BOX TO GRADE

NOT TO SCALE



KEYED NOTES

- 1 FURNISH AND INSTALL SANITARY SEWER SERVICE LATERAL 4"
- 2 FURNISH AND INSTALL SANITARY SEWER SERVICE CONNECTION 4"

GENERAL NOTES

ALL PARTS, FITTINGS, RISERS, CLEANOUTS, AND CONNECTIONS TO EXISTING CUSTOMER SERVICE LINES SHALL BE CONSIDERED INCIDENTAL TO FURNISH AND INSTALL SANITARY SEWER SERVICE LATERAL 4", AND NO SEPARATE MEASUREMENT OR PAYMENT WILL BE MADE.

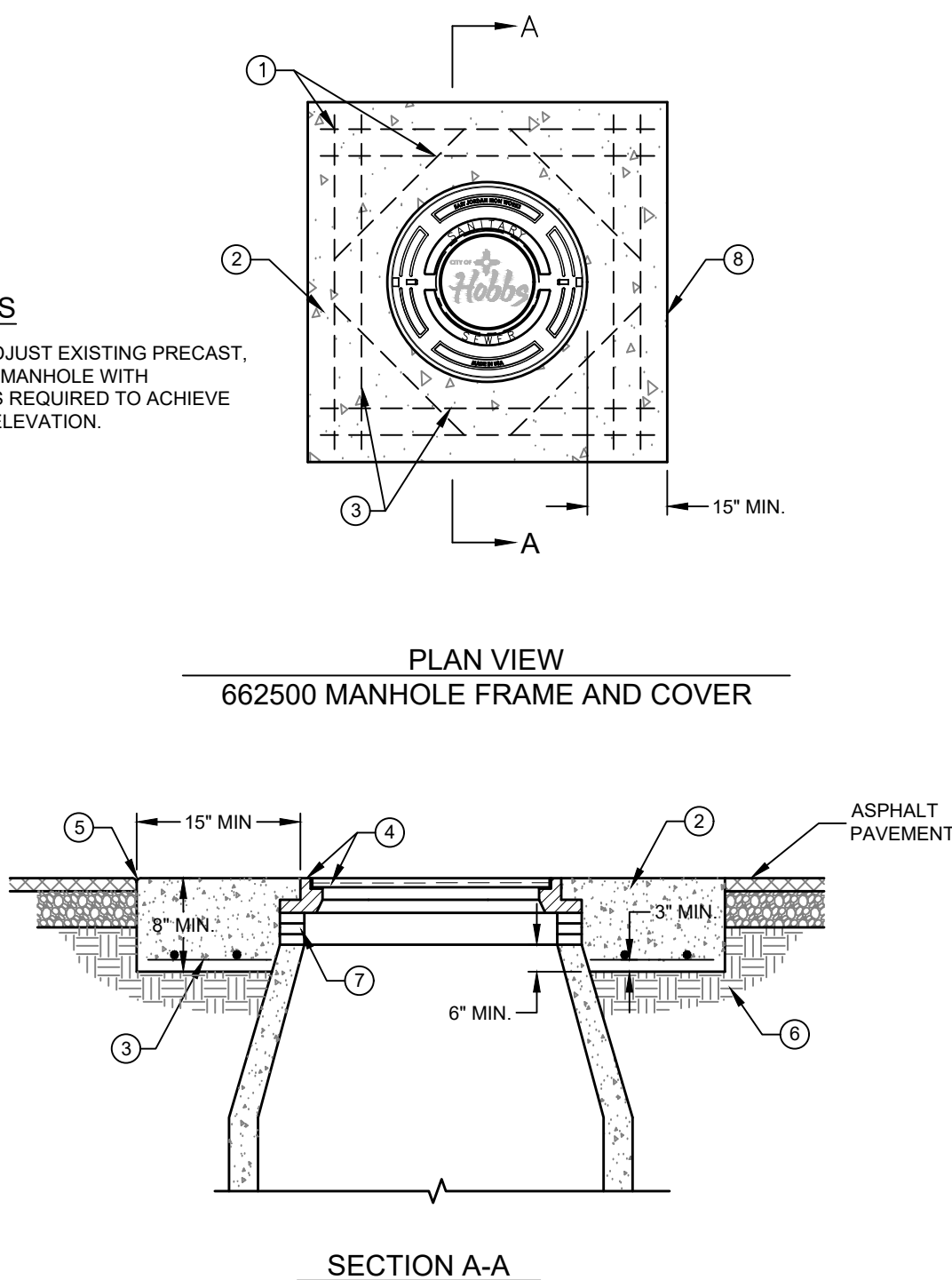
ALL PARTS, AND FITTINGS NECESSARY TO CONNECT NEW SANITARY SEWER SERVICE LATERALS TO EXISTING SANITARY SEWER MAINS SHALL BE CONSIDERED INCIDENTAL TO FURNISH AND INSTALL SANITARY SEWER SERVICE CONNECTION, AND NO SEPARATE MEASUREMENT OR PAYMENT WILL BE MADE.

INSTALL NEW SANITARY SEWER SERVICE

NOT TO SCALE

GENERAL NOTES

CONTRACTOR SHALL ADJUST EXISTING PRECAST, BRICK OR FIBERGLASS MANHOLE WITH ADJUSTMENT RINGS, AS REQUIRED TO ACHIEVE PROPOSED ROADWAY ELEVATION.



PLAN VIEW
662500 MANHOLE FRAME AND COVER

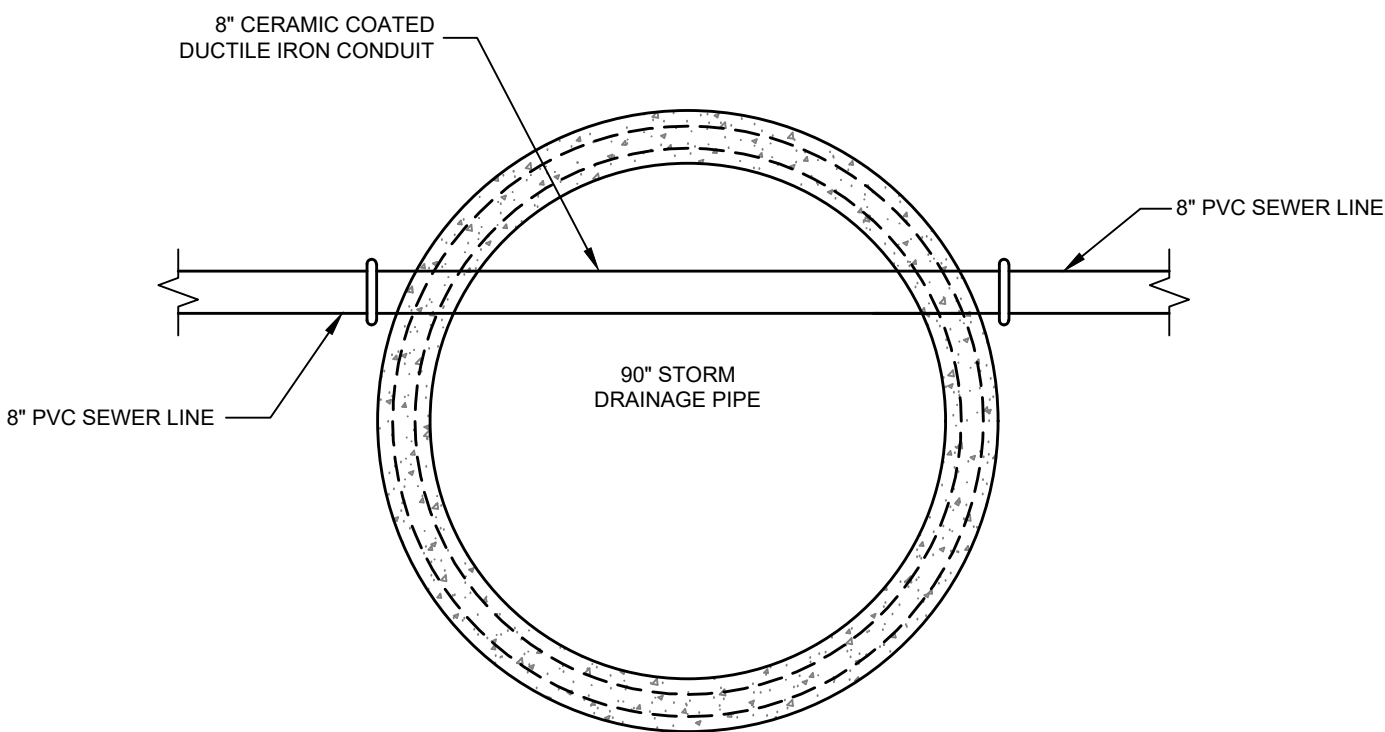
SECTION A-A

KEYED NOTES:

- 1 TIE ALL STEEL WITH WIRE. PLACE ON 3" CHAIRS
- 2 CLASS AA CONCRETE 4000 PSI
- 3 #4 REBAR AT 8" O.C. EACH WAY AS SHOWN. 3" MIN. CLEAR COVER TYP.
- 4 24" OR 30" FRAME & COVER, REFER TO DESIGN STANDARD 209.00 FOR 30" FRAME & COVER. ALL NEW MANHOLES SHALL HAVE 30" FRAME & COVER.
- 5 1/2" TOOLED RADIUS. TACK COAT ON ALL EDGES TYP.
- 6 COMPACT ALL BACKFILL TO 95% MODIFIED PROCTOR DENSITY
- 7 USE ADJUSTMENT RINGS OR MAX. 2 COURSES GR MS BRICK FOR ADJUSTMENT OF MANHOLE FRAME TO PAVEMENT GRADE. 18" MAX HEIGHT ADJUSTMENT.
- 8 CONCRETE EDGES SHALL BE PARALLEL TO CURB LINE OF ROADWAY.

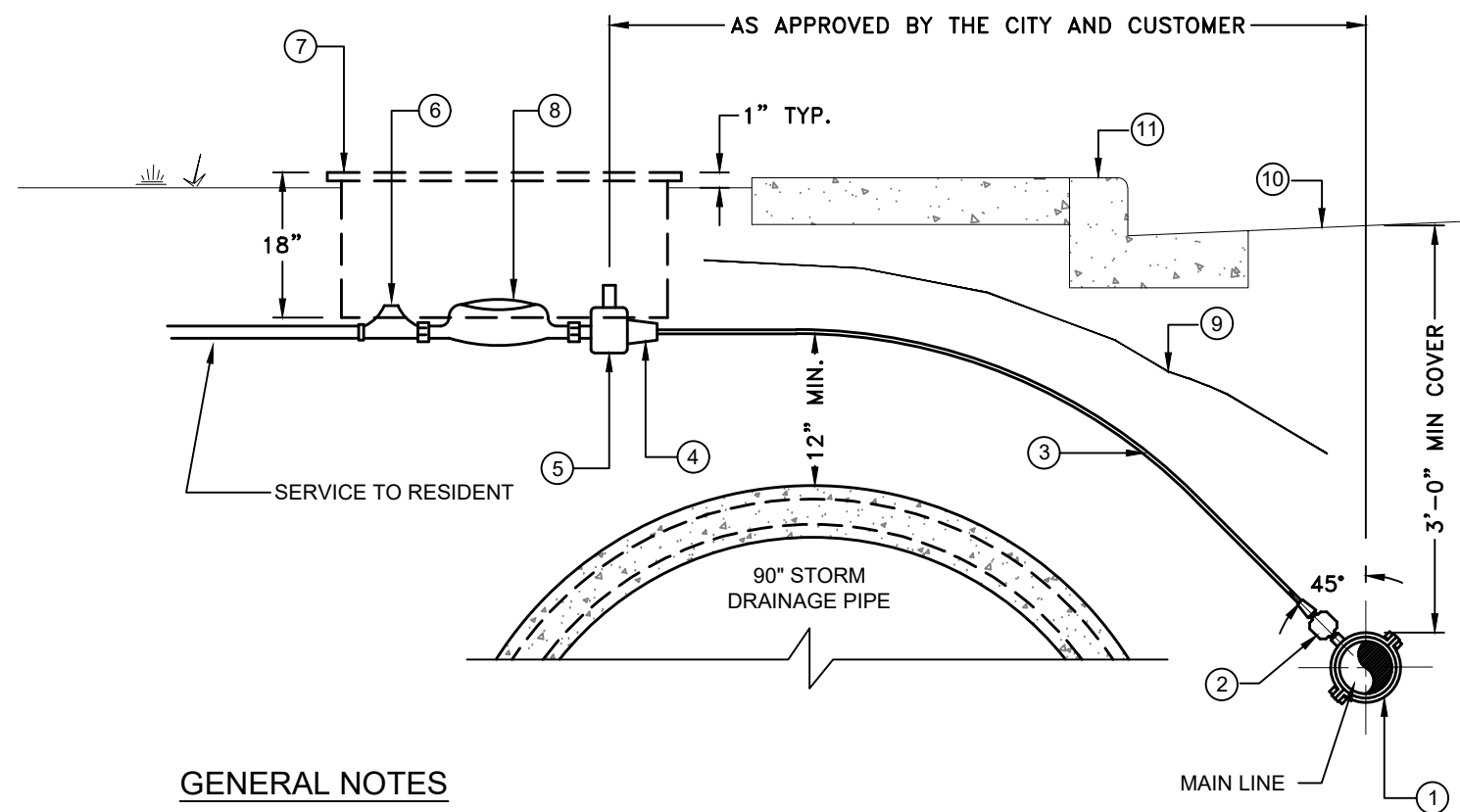
662400 - MANHOLE ADJUSTMENT

NOT TO SCALE



SANITARY SEWER PENETRATION FOR STORM DRAINAGE PIPE

NOT TO SCALE



GENERAL NOTES

1. THE VALVE AND METER REGISTER BOX SHALL BE LOCATED UNDER THE LID OPENING. WHERE TWO METERS ARE TO BE INSTALLED IN A SINGLE METER BOX, THE METER REGISTERS SHALL BE WITHIN READING RANGE OF THE LID OPENING.
2. THE METER BOX SHALL NOT BE LOCATED WITHIN DRIVEWAYS, SIDEWALKS OR ON PRIVATE PROPERTY UNLESS WITHIN A UTILITY EASEMENT. METER BOX SHALL BE LOCATED AWAY FROM VEHICULAR OR PEDESTRIAN ACCESS(ES) OR PATHWAYS.
3. IF CONCRETE ENCASED, THE TOP OF THE METER BOX SHALL BE FLUSH WITH TOP OF CONCRETE. OTHERWISE THE TOP OF THE METER BOX SHALL BE 1" ABOVE FINISH GRADE.

- 1 TAPPING SADDLE (SMITH-BLAIR 313 DOUBLE BALE WITH 1" CC OUTLET OR APPROVED EQUAL)
- 2 BRONZE CORPORATION STOP (MUELLER H-15006 OR APPROVED EQUAL) 1" CC INLET AND 1" CTS INSTA-TITE.
- 3 1" POLYETHYLENE PIPE REQUIRED (NUMEX BRAND OR EQUAL)
- 4 1" MUELLER INSTA-TIGHT X MIP FITTING / 1" X 3/4" METER ADAPTORS
- 5 BALL VALVE (FORD) 1" IRON X METER NUT
- 6 CHECK VALVE (FORD HS31-444 OR EQUAL)
- 7 PLASTIC METER BOX & COVER, REFER TO DESIGN STANDARD NO. 103.00
- 8 5/8" X 3/4" METER TYP.
- 9 WARNING TAPE
- 10 STREET SURFACE
- 11 STAMP OR CHISEL A "W" (3 INCHES HIGH AND 1/4 INCH DEPTH) INTO TOP OF CURB SURFACE

663100 - 1" SINGLE WATER LATERAL INSTALLATION

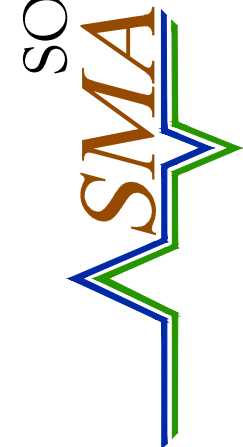
NOT TO SCALE

NOTE: FOR DUAL WATER LATERAL INSTALLATIONS USE THE ABOVE SINGLE LATERAL DETAIL, BUT USE THE FOLLOWING MODIFICATIONS.

1. MAKE A 1.5" TAP ON THE WATER MAIN.
2. INSTALL A SHARED 2" POLY WATER LATERAL.
3. TEE INTO TWO 1" POLY SERVICE LATERALS AND METER TO SERVICE PROPERTIES AT THE PROPERTY LINE.

HOBBS, NM

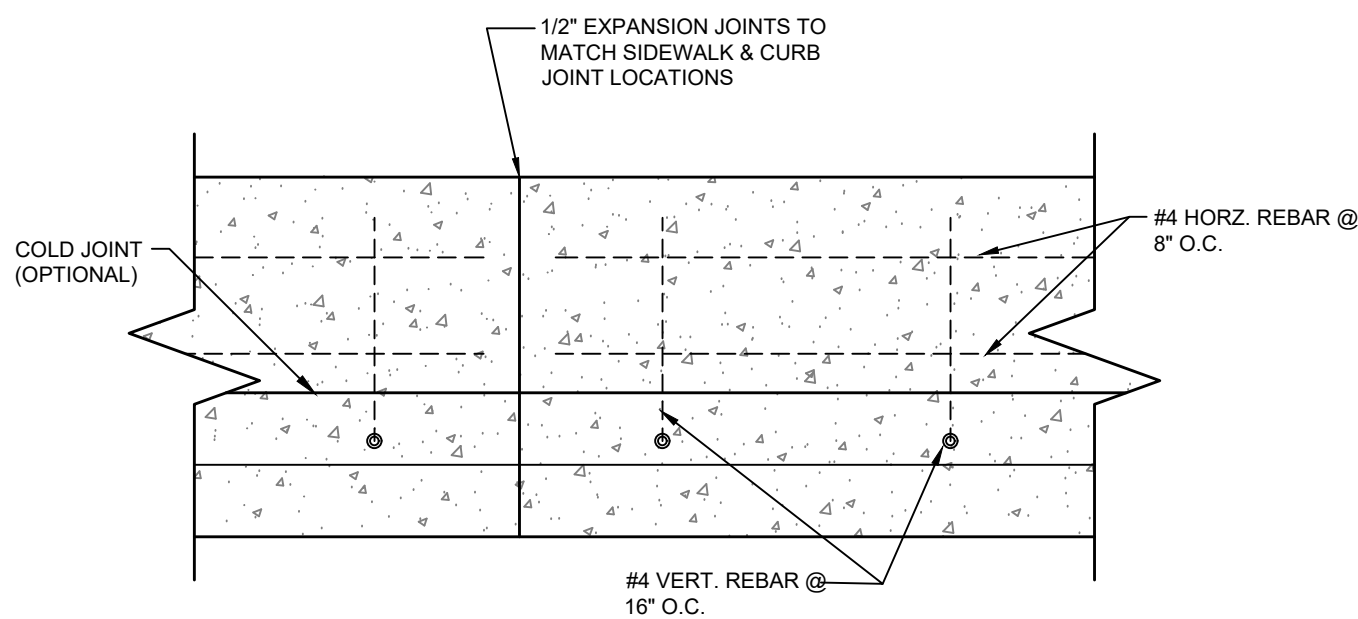
HABITAT FOR HUMANITY



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UTILITY DETAILS
HABITAT FOR HUMANITY SUBDIVISION

Designed SMA	Drawn SMA	Checked RD
Date: April 2022		
Scale: Horiz: horiz Vert: vert		
Project No: 9C30190		
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SECTION A-A

PINNED CURB

NOT TO SCALE



NOT TO SCALE

- ### PINNED CURB KEYED NOTES:

- ① INSTALL PINNED CURB
- ② PROVIDE 6" BED COURSE MATERIAL THAT CONSISTS OF CINDERS, SAND, GRAVEL, CRUSHED STONE, OR OTHER GRANULAR AGGREGATE, WITH 100% PASSING A 1/2 INCH SIEVE AND NOT MORE THAN 12% PASSING A NO. 200 SIEVE, OR TYPE I OR TYPE II BASE COURSE, AS PER SECTION 303 OF THE NMDOT STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION 2019 EDITION. COMPACT BED COURSE/BASE COURSE TO A MINIMUM OF 90% PER AASHTO T-180. NO SEPARATE MEASUREMENT OR PAYMENT WILL BE MADE FOR BED COURSE OR BASE COURSE
- ③ EXISTING SUBGRADE MATERIAL

PINNED CURB GENERAL NOTES:

ALL CONCRETE SHALL CONTAIN ANTI-CRACK FIBER REINFORCEMENT

COMPACT BED COURSE MATERIAL TO A DENSITY OF AT LEAST 90% OF
MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180.

[illegible]

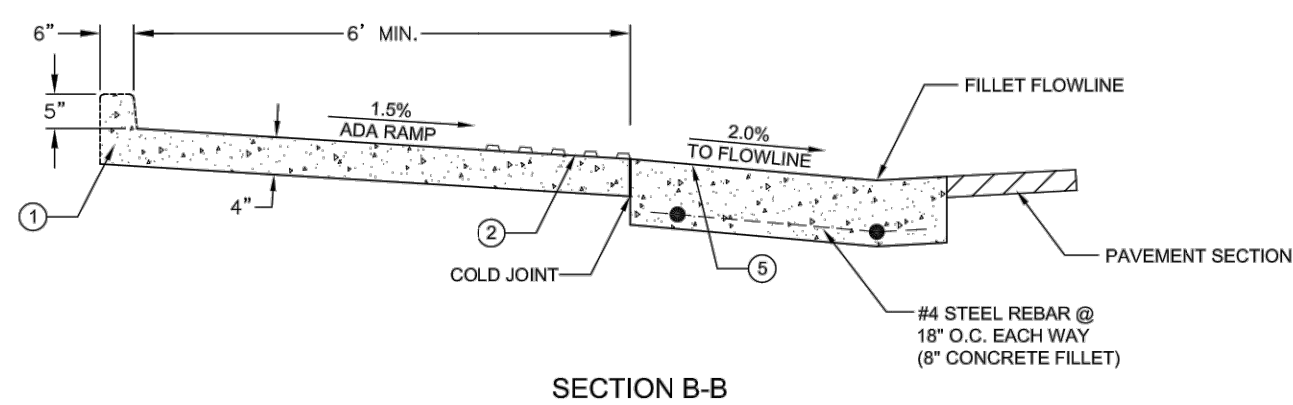
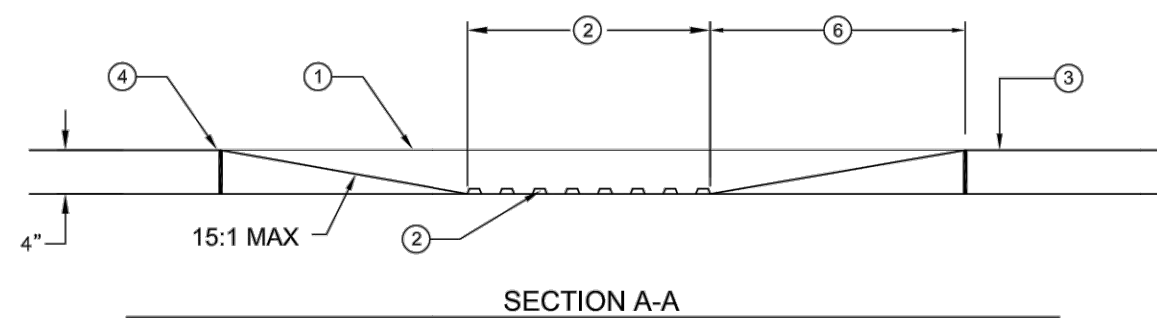
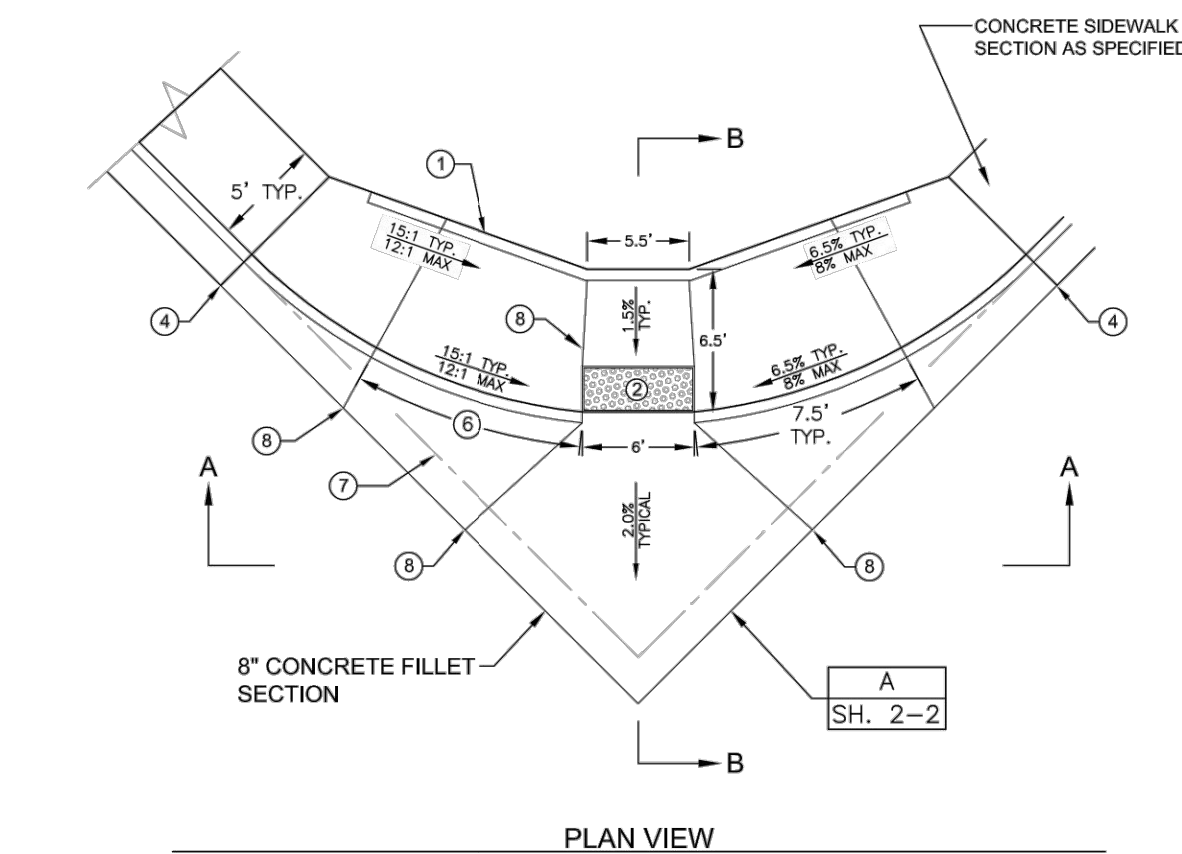
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HABITAT FOR HUMANITY

STORM INLET DETAILS HABITAT FOR HUMANITY SUBDIVISION

Designed SMA	Drawn SMA	Checked RD
Date: April 2022		
Scale:	Horiz: horiz	Ver: vert
Project No:		9C30190
Sheet:		1-8



ADA RAMP CONSTRUCTION NOTES:

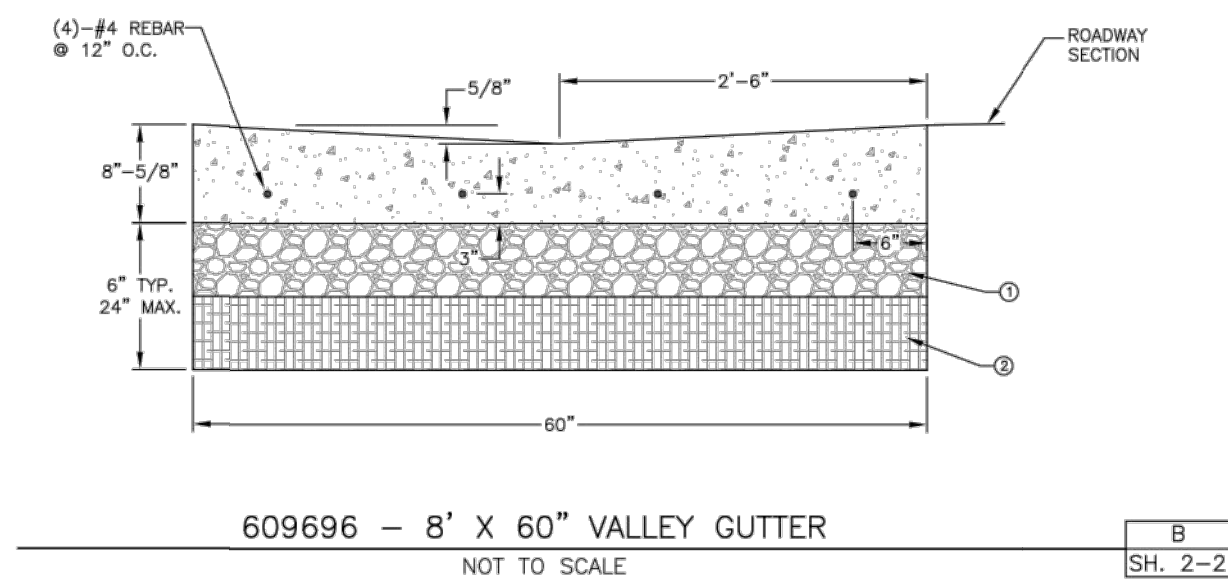
- ① CONCRETE HEADER CURB TO BE POURED MONOLITHICALLY WITH RAMP.
- ② CENTER CORROSION RESISTANT GRAY IRON DETECTABLE WARNING PLATES AS SHOWN. (2) 3'X2" PLATES (EAST JORDAN IRON WORKS, ADVANTAGE CAST IRON, OR CITY ENGINEER APPROVED EQUIVALENT)
DETECTABLE WARNING PLATES SHALL BE CONSIDERED INCIDENTAL TO ITEM 608004 CONCRETE SIDEWALK 4"
- ③ TOP OF SIDEWALK
- ④ 1/2" EXPANSION JOINT
- ⑤ SLOPED CURB PER DESIGN STANDARDS
- ⑥ HORIZONTAL RAMP LENGTH VARIES BASED ON CURB HEIGHT PER ROADWAY DESIGN AND 6.7% RECOMMENDED SLOPE (8.3% MAXIMUM SLOPE ALLOWABLE)
- ⑦ PROPOSED FLOW—LINE LOCATION (8" CONCRETE FILLET)
- ⑧ 1/4" GROOVE JOINTS AS SHOWN

GENERAL NOTES

ADA RAMP SHALL BE BUILT AND PAID FOR AS ITEM #608004 "CONCRETE SIDEWALK 4"

ADA RAMP DETAILS

NOT TO SCALE



VALLEY GUTTER GUTTER KEYED NOTES:

- ① PROVIDE 6" BED COURSE MATERIAL THAT CONSISTS OF GINDERS, SAND, GRAVEL, CRUSHED STONE, OR OTHER GRANULAR AGGREGATE, WITH 100% PASSING A 1/2" HOLE SIEVE AND NOT MORE THAN 12% PASSING A NO. 200 SIEVE, OR TYPE I OR TYPE II BASE COURSE, AS PER SECTION 303 OF THE NMDOT STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION 2014 EDITION. COMPACT BED COURSE/BASE COURSE TO A MINIMUM OF 98% PER MSHTO T-180. NO SEPARATE MEASUREMENT OR PAYMENT WILL BE MADE FOR BED COURSE OR BASE COURSE.
- ② PROTECT RAIL EXISTING SUBGRADE (INCIDENTAL). REMOVE UNSTABLE MATERIAL, AS DIRECTED BY THE PROJECT MANAGER, TO A MAXIMUM DEPTH OF 18" (BID ITEM 203320 SUBCAVIGATION). BACKFILLING SUBCAVIGATED AREAS SHALL BE INCIDENTAL TO (BID ITEM 20330 SUBCAVIGATION).

VALLEY GUTTER GENERAL NOTES:

ALL CONCRETE SHALL CONTAIN ANTI-CRACK HD (AR) GLASS FIBER REINFORCEMENT OR APPROVED
EQUAL AT A MINIMUM RATE OF 1.5 LB. PER CUBIC YARD

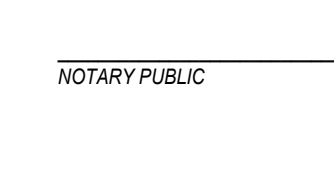
SEAL ALL EXPANSION JOINTS WITH SILICONE SEALER

INSTALL THREE (3) 1/4" GROOVE JOINTS AT EQUAL DISTANCE THE LENGTH OF VALLEY GUTTER

THERE BE NO ADDITION MEASUREMENT OR PAYMENT FOR STEEL REINFORCEMENT (REBAR)

September 20, 2022
Planning Board Regular Meeting

- 4) Review and Consider Final Plat Approval for Liberty Crossing Unit 2, as presented by property owner, ALJO, LLC.**



VICINITY MAP
NOT TO SCALE

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD BEARING	CHORD LENGTH	CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	25.00'	39.31'	90°0541"	N44°19'30"E	35.38'	C18	25.00'	5.80'	13°17'29"	N58°43'11"W	5.79'
C2	25.00'	20.67'	47°22'57"	S24°24'50"E	20.09'	C19	54.00'	59.22'	62°50'17"	N33°56'47"W	56.30'
C3	54.00'	18.52'	19°39'14"	S38°16'41"W	18.43'	C20	54.00'	33.40'	35°26'36"	N15°11'39"E	32.87'
C4	54.00'	95.46'	101°16'56"	S22°11'124"W	83.50'	C21	54.00'	33.38'	35°25'18"	N50°37'37"E	32.86'
C5	54.00'	71.07'	75°24'28"	S47°42'21"E	66.05'	C22	54.00'	52.54'	55°44'59"	S83°47'15"E	50.49'
C6	54.00'	53.39'	56°38'39"	N18°19'12"E	51.24'	C23	54.00'	11.93'	12°39'31"	S49°35'00"E	11.91'
C7	25.00'	2.17'	4°58'07"	N44°09'28"E	2.17'	C24	25.00'	20.67'	47°22'25"	S66°56'28"E	20.09'
C8	25.00'	18.50'	42°23'45"	S20°28'32"W	18.08'	C25	25.00'	19.07'	43°42'28"	S67°31'06"W	18.61'
C9	25.00'	39.23'	89°54'19"	N45°40'31"W	35.33'	C26	25.00'	1.62'	3°42'38"	S43°48'32"W	1.62'
C10	25.00'	39.31'	90°0541"	N44°19'30"E	35.39'	C27	54.00'	53.79'	57°04'33"	N70°29'29"E	51.60'
C11	25.00'	39.25'	89°5744"	S45°42'13"E	35.34'	C28	54.00'	65.71'	69°43'13"	S46°06'38"E	61.73'
C12	25.00'	39.29'	S44°17'47"W		35.37'	C29	54.00'	80.60'	85°30'59"	S52°51'06"W	73.32'
C13	25.00'	39.23'	89°54'19"	S45°40'31"E	35.33'	C30	54.00'	38.73'	41°05'28"	S63°50'41"E	37.90'
C14	25.00'	34.90'	79°58'30"	N49°23'05"E	32.13'	C31	25.00'	18.47'	42°20'03"	S64°27'59"E	18.05'
C15	25.00'	43.64'	100°01'30"	S40°36'55"E	38.31'	C32	25.00'	2.18'	4°59'40"	N88°07'50"W	2.18'
C16	25.00'	39.31'	90°0541"	S44°19'30"W	35.38'	C33	25.00'	39.31'	90°0541"	N44°19'30"E	35.39'
C17	25.00'	22.41'	51°21'06"	S26°23'54"E	21.66'	C34	25.00'	39.23'	89°54'19"	S45°40'31"E	35.33'
						C35	53.50'	84.33'	90°0541"	S44°19'29"W	75.72'