

AGENDA
City of Hobbs Planning Board – Regular Meeting
September 21, 2021 at 10:00 AM

W.M. “Tres” Hicks, Chairman
Bill Ramirez
Brett Drennan
Larry Sanderson

Guy Kesner, Vice Chairman
Ben Donahue
Philip Ingram

Tentative Agenda for the Planning Board Regular Session Meeting to be held on Tuesday, September 21, 2021 at 10:00 AM at the City of Hobbs Annex Building, First Floor Commission Chambers located at 200 E. Broadway, Hobbs, NM 88240.

AGENDA

- 1) Call To Order.**
- 2) Review and Consider Approval of Special Agenda.**
- 3) Review and Consider Approval of Minutes.**

August 9, 2021 – Special Meeting

- 4) Communications from Citizens.**

ACTION ITEMS

- 5) Review and Consider Final Plan Approval for The Mesquite Draw Subdivision, as submitted by property owner, Daniel Johncox.**
- 6) Review and Consider Final Plan Approval for Tanglewood Unit 5 & 6, as presented by property owner, ALJO, LLC.**
- 7) Review and Consider Dedication Plat dedicating a portion of North Dal Paso and a water well site as submitted by Armann Enterprises, LLC, property owner.**
- 8) Review and Consider Vacation & Dedication Plat(s) dedicating a portion of Marland Street and the N\S alleyways located NE of the intersection of Marland and Elm Place and vacating the E\W alleyway as submitted by Antonio Rodriguez, property owner.**
- 9) Review and Consider Encroachment Agreement for property located at 4511 Business Park Boulevard as requested by Dixie Electric LLC, property owner.**
- 10) Review and Consider Preliminary Plan Approval Zia Crossing Unit 9, as presented by property owner, Black Gold Estates.**
- 11) Review 2nd Sketch Plan for property located southeast of the intersection of Joe Harvey & Central, as presented by Lemke Development.**
- 12) Review Sketch Plan for property located northeast of the terminus of Calle Grande, as presented by Stuard Homes.**
- 13) Review Sketch Plan for property located northwest of the intersection of Alabama & Bensing, within the ETJ, as presented by property owner, Norris Land and Cattle Co.**

DISCUSSION ITEMS

- 14) Review proposed reduction in front yard setback and off street parking requirements for proposed subdivision Liberty Hill.**

Adjournment.

The City will make every effort to provide reasonable accommodations for people with disabilities who wish to attend a public meeting. Please notify the City at least 24 hours before the meeting. Telephone 397-9351.

“Notice is hereby given that a quorum of the Hobbs City Commission may be in attendance at this meeting.”

SPECIAL SESSION PLANNING BOARD

Meeting Minutes

August 9, 2021

The Hobbs Planning Board met on August 9, 2021 at 10:00 a.m. at City of Hobbs Annex Building, First Floor Commission Chambers, located at 200 E. Broadway, Hobbs, NM 88240 with Mr. W.M. “Tres” Hicks Chairman presiding.

Members Present:

**Tres Hicks, Chairman
Guy Kesner, Vice Chairman
Brett Drennan
Ben Donahue**

Members Absent

**Larry Sanderson
Philip Ingram
Bill Ramirez**

Also present were members of the public and City staff as follows:

**Kevin Robinson, Development Director
Julie Nymeyer, Staff Secretary
Jay Collins**

**Amanda Ponce, GIS Tech
Daniel Johncox**

1) Call To Order.

Chairman Hicks called the meeting to order at 10:17 am.

2) Review and Consider Approval of Agenda.

The first item of business was to review and approve the Agenda for the August 9th, 2021 meeting. Mr. Hicks asked if there were any changes to the agenda? Mr. Robinson there were no changes but that Mr. Johncox and Mr. Collins were present and had an items on the agenda. Mr. Hicks suggested moving items 8 and 9 after 4. Mr. Kesner made a motion, seconded by Mr. Drennan to approve the agenda as amended. The vote on the motion was 4-0 and the motion carried.

3) Review and Consider Approval of Minutes.

June 22, 2021 – Regular Meeting

Mr. Hicks asked if everyone has had a chance to read the Regular Meeting Minutes from June 22, 2021. Mr. Kesner made a motion, seconded by Mr. Donahue to approve the Regular Meeting Minutes as presented. The vote on the motion was 4-0 and the motion carried.

4) Communications from Citizens.

There were no communications from citizens.

ACTION ITEMS

- 8) **Review and Consider a proposed Fair Share Infrastructure Development Agreement concerning the projection of Ja-Rob, a Major Collector, +/- 418' south of Millen.**

Mr. Robinson said this is the Fair Share Development Agreement for the extension of Jarob south of Millen. He said this property is located within the county. He said the Developer does not have fair share benefit of both sides of the property. He said the developer is developing on the west of the development and the east side will be located with the parent parcel owner which is Del Norte and they will have the fair share on that.

Mr. Robinson said the Fair Share Development is for the roadway and the infrastructure for an amount not to exceed \$86,526. Mr. Kesner said since he works for Del Norte he will abstain on this item. Mr. Donahue made a motion, seconded by Mr. Drennan to approve the agreement. The vote on the motion was 3-1 with Mr. Kesner abstaining and the motion carried.

- 9) **Review and Consider Final Plat Approval for College Subdivision, Unit 3 & 4, as submitted by property owner, Bonafide Ventures, LLC.**

Mr. Robinson said the areas northeast of the intersection of E. Sanger and Harris there are two tracts that were created with the claim of exemption. He said this is the furthest subdivision of tract A1 and A2. He said all of these lots are available to municipal infrastructure. He said that will require a utility agreement and is compliant with all of the municipal codes. Mr. Hicks said no variance is requested. Mr. Robinson said correct. Mr. Donahue made a motion, seconded by Mr. Kesner to approve this subdivision. The vote on the motion was 4-0 and the motion carried.

- 5) **Review and Consider Dedication Plat dedicating a portion of the projection of Texaco Road north of W. Marland Boulevard as submitted by Occidental Permian Limited Partnership, property owner.**

Mr. Robinson said this is a dedication of a projection of Texaco north of Marland Blvd. He said the area in green is Oxy's property. He said Oxy has 30 feet of the required 60 foot right of way. He said the red area is owned by the State. He said in order for the Municipality to develop and build a roadway on public property they will need both pieces of the right of way. Mr. Kesner asked if this was the old Hondo Oil? Mr. Robinson said he believed so. Mr. Hicks asked what was going to happen with the State Land Office? He asked if the city was going to pursue an easement for the road. Mr. Robinson said they would have to pursue a lease or a fee simple. Mr. Kesner asked how the road was going to get built? Mr. Robinson said the road needs to be built by the people adjacent to the roadway. Mr. Hicks said it could be an assessment district. Mr. Robinson said yes.

Mr. Hicks asked if the people behind this building that are land locked if they had public utilities. Mr. Robinson said he knew of at least one meter. Mr. Hicks said it looked like there were about 5 houses back there. He said he had no issues with accepting this dedication. He asked if we needed some language on the plat exempting the city from being responsible for the road and utilities? Mr. Robinson said they do not. He said it is still private property and generally the responsibility of the easement holder or a dedicated property. He said they are not dedicating a developed roadway. Mr. Hicks said in the minutes of the meeting or in the dedication of acceptance the Commission should determine if the city is or is not responsible for future maintenance or construction of utilities or streets. Mr. Kesner said he thought that made sense. Mr. Robinson said if the Board will require the same language the county used on their plat and require the language be inserted on the plat then it will be done before it goes to Commission. He said then the Commission can remove it if they want.

Mr. Kesner made a motion to approve the dedication plat, seconded by Mr. Donahue with the stipulation that the plat have the wording that the City of Hobbs is not responsible for installation, repairs or maintenance. The vote on the motion was 4-0 and the motion carried.

- 6) Review and Consider Front Yard Setback Variance as submitted by developer for property located at 1120 E. Broadway.

Mr. Robinson said this is a front yard setback at 1120 E Broadway. He said there was a permit issued. He said when the city went out prior to the footing being set we noticed the structure was a lot closer to the street than the site plan noted. He said it should have been 35 feet from the property line which should be about 55 feet from the back of curb. He said the developer of the property has put a 71 foot building into a lot that is 100 foot deep. He said they located that structure a lot closer to east Broadway than what is allowed. He said they had designed their house for a 140 foot depth lot.

Mr. Hicks asked where they were in construction right now? Mr. Robinson said they have the forms set and the plumbing in and they have rebar in place. He said they have been working with the developer for the last two weeks. He said they can cut the front part of the house off and be in compliance with the setback. Mr. Hicks asked if they are encroaching by 10 feet? Mr. Robinson said he thought that was correct. Mr. Kesner made a motion, seconded by Mr. Donahue to table this item with the preference to correct the encroachment or come back and show a hardship. The vote on the motion to table this item was 4-0 and the motion carried.

- 7) Review and Consider Front Yard Setback Variance as submitted by Property Owner for property located at 1026 E. Bender Boulevard.

Mr. Robinson said the MTP does not allow the Planning Department to issue a variance for a commercial structure so the Planning Board has to see this item. He said the property owners originally applied for a home owners permit. He said a home owner's permit cannot be granted for a commercial structure. He said they did submit a site plan for 1026 E. Bender.

He said E. Bender is a Major Arterial which requires a 40 foot setback from the property line. He said there is additional right of way on E. Bender so there could be a discrepancy on where the property line is and it is the property owner's responsibility to get a survey.

Mr. Drennan said all the properties to the east of them are already in the right of way. Mr. Kesner said he agreed and the properties to the west. Mr. Kesner made a motion, seconded by Mr. Donahue to approve the variance with a minimum setback of 45 foot back of curb. The vote on the motion was 4-0 and the motion carried.

- 10) Review and Consider Final Plat Approval for BWR Subdivision, as submitted by property owner, Grimes Land Co. LTD Co.

Mr. Donahue said he was going to abstain from voting from number 10 and 11 with his affiliation with the owner of both of the companies.

Mr. Robinson said he believed the County has already reviewed these items. He said these are being subdivided under a type 3 subdivision. He said a type 3 subdivision does allow the county board to approve. He said if there are any variances from the rules and regulations as adopted by ordinance 35 then it is supposed to go back to the Commission. He said it does allow the county to accept right of ways.

Mr. Hicks asked if these surface and subsurface easements to the public were approved by the county. Mr. Robinson said one of the things that has to occur is the dedication of the public roadways and he did not know what happened at the county meeting. Mr. Kesner said these properties will be a commercial development so the developer does not know what the customer will want so they need flexibility. Mr. Robinson said what causes problems is that Poole is a half section roadway. He said he would agree on the quarter section roadways may not be a problem but the half section roadways and section roadways would be a problem. Mr. Donahue said the tract off of World Drive there are commercial properties there and they are fenced. He said he did not know who had the flag pole lot down south to Poole Street.

Mr. Hicks said he thought that requiring the north/south and the half section line on the plat then you can move them around. Mr. Kesner made a motion, seconded by Mr. Drennan to approve the Final Plat and leave in all the lines as predicted and change the section line to dedicated surface and subsurface easement to the public and dedicating the current easements along already developed roadways. The vote on the motion was 3-1 with Mr. Donahue abstaining and the motion carried.

- 11) Review and Consider Final Plat Approval for T&S Subdivision, as submitted by property owner, Six S Ventures, LLC.

Mr. Robinson said this is the same thing as the last item but it is on the east side of World Drive. Mr. Kesner made a motion, seconded by Mr. Drennan to approve this Final Plat as presented. The vote on the motion was 3-1 with Mr. Donahue abstaining and the motion carried.

- 12) Review and Consider Top 10 projects for the FY 2022-2026 Infrastructure Capital Improvement Plan (ICIP).

Mr. Robinson discussed the ICIP. He said the Mayor really would like to have the Planning Boards Top 10. Mr. Hicks said the College Lane and West Bender widening are important. Mr. Kesner said he thought Public Safety should come before street improvements. Mr. Hicks said they could move Street resurfacing down to 10. After a lengthy discussion the Board decided that they agreed with the top 10 and as long as these items were in the top 10 the order did not matter to them. Mr. Hicks said the Board agreed with the Staff recommendation.

Mr. Drennan made a motion, seconded by Mr. Donahue to approve the staff

recommendations on the top 10. The vote on the motion was 4-0 and the motion carried.

DISCUSSION ITEMS

Adjournment.

With nothing further to discuss the meeting adjourned at 12:12 pm.

Tres Hicks, Chairman

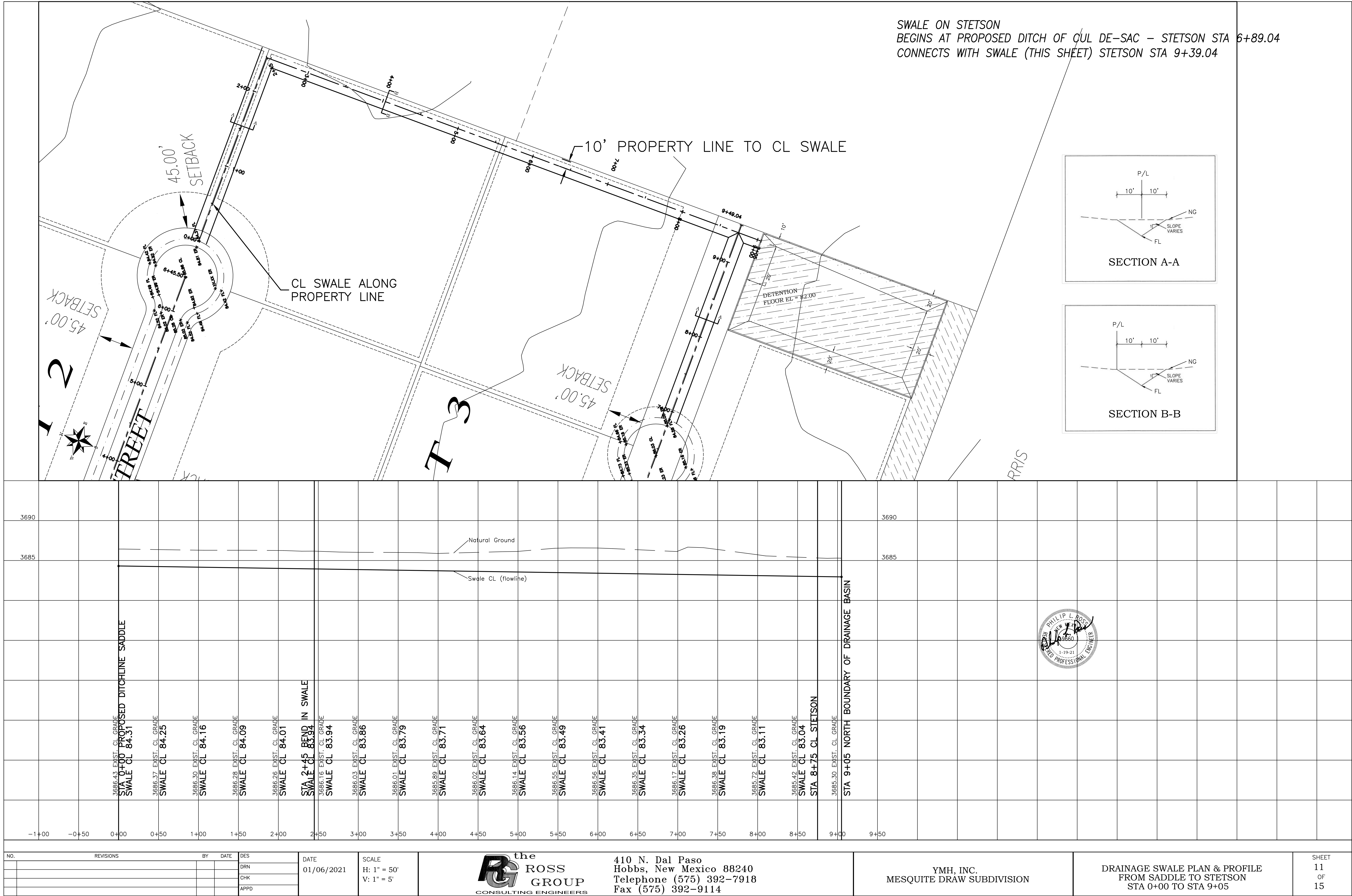
September 21, 2021
Planning Board Regular Meeting

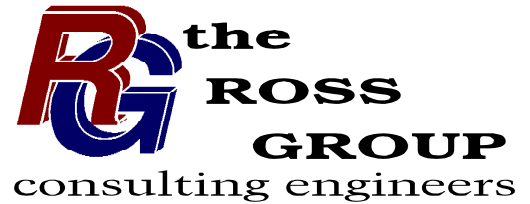
- 5) **Review and Consider Final Plan Approval for The Mesquite Draw Subdivision, as submitted by property owner, Daniel Johncox.**

DWG #Mesquite Draw Subdivision (Rev. A)

200 0 200 400 Feet

Scale: 1 inch = 200 feet





August 24, 2021

Mr. Corey Needham
Public Works Director
Lea County Road Department
5915 N. Lovington Highway
Hobbs, New Mexico 88240

Re: Mesquite Draw Subdivision, located in Lea County, New Mexico

Dear Mr. Needham:

The above described subdivision's infrastructure for roadways has been completed. Frequent periodic inspection indicated no deviation from project plans and specifications. The project was completed per the plans and specifications.

We recommend that the subdivision be accepted into the Lea County roadway system.

Sincerely,

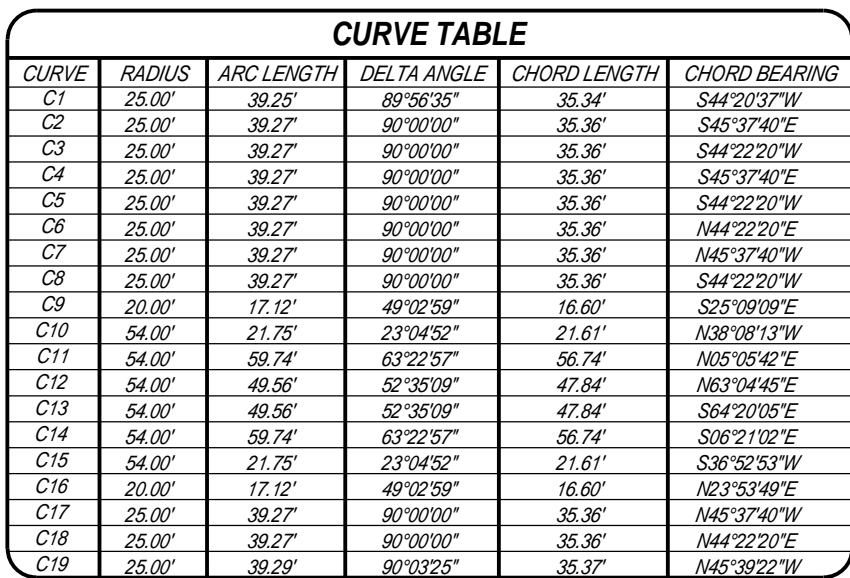
the Ross Group

Philip L. Ross, P.E.

xc: Mr. Kevin Robinson, City of Hobbs

September 21, 2021
Planning Board Regular Meeting

- 6) **Review and Consider Final Plan Approval for Tanglewood Unit 5 & 6, as presented by property owner, ALJO, LLC.**



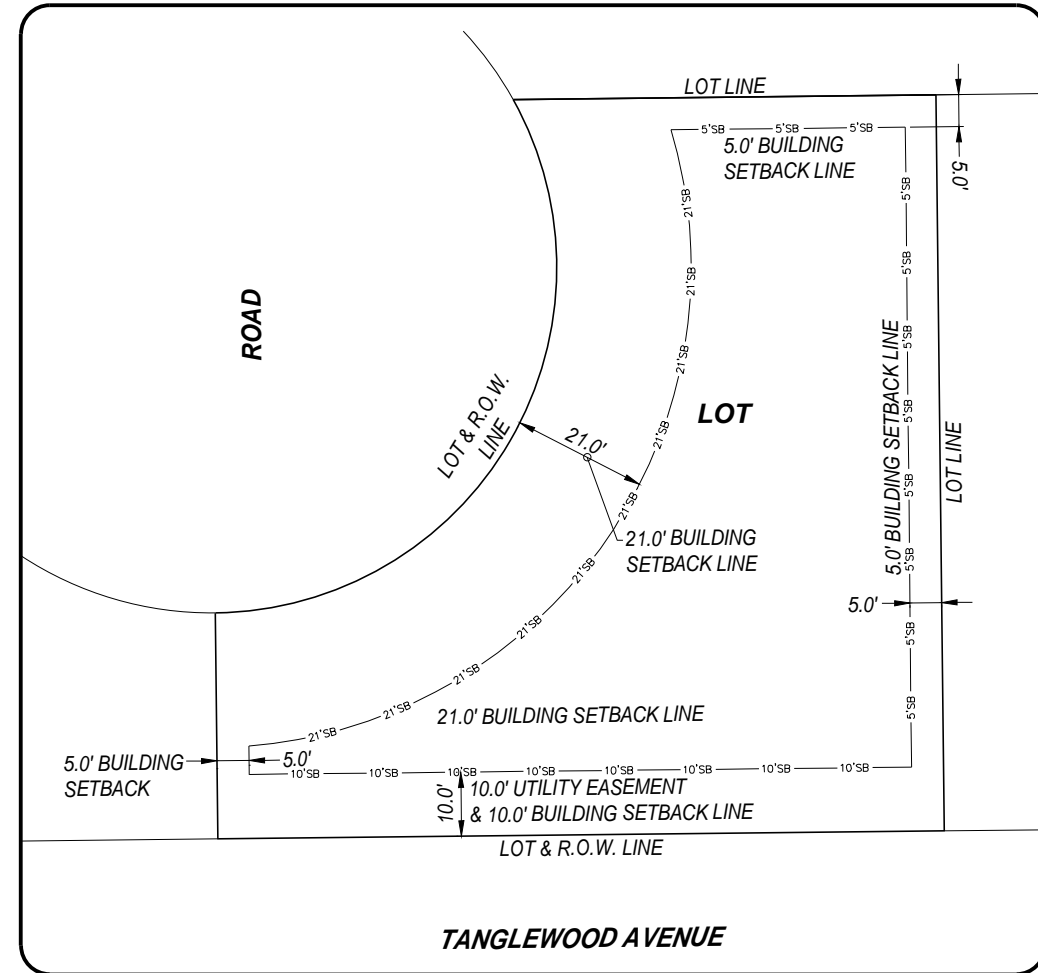
JAN FLETCHER, CITY CLERK

ACKNOWLEDGMENT:

STATE OF NEW MEXICO
COUNTY OF LEA

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2021 A.D., BY JAN FLETCHER.

NOTARY PUBLIC



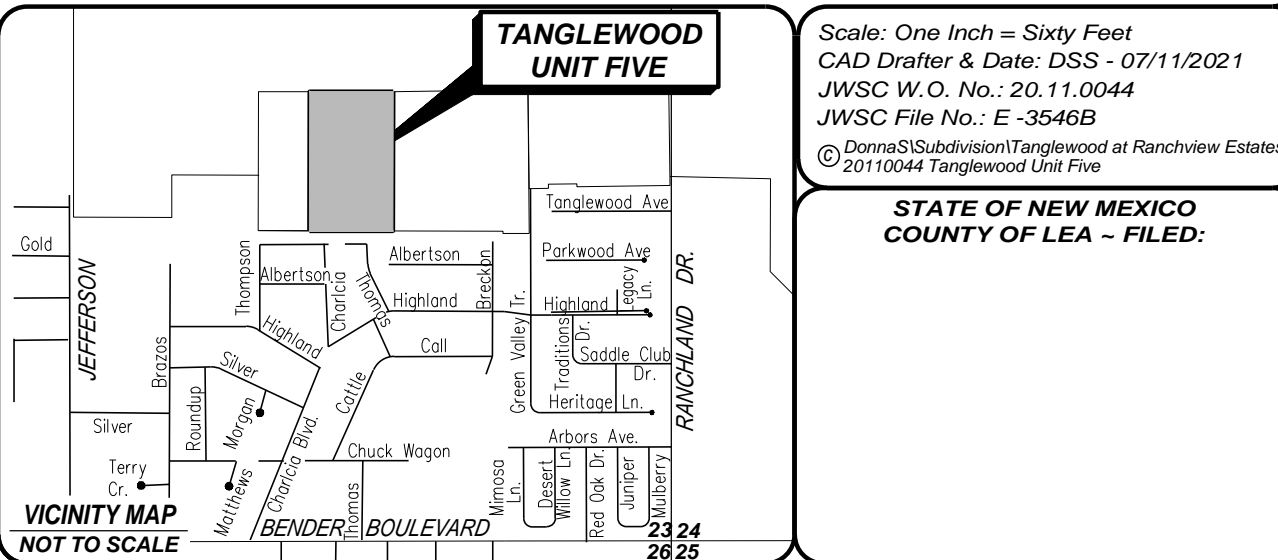
NOTARY PUBLIC

GARY G. EIDSON _____ DATE: _____

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July 26, 2021

Mr. Todd Randall
City Engineer
City of Hobbs
200 E. Broadway
Hobbs, New Mexico 88240

Re: **Tanglewood Unit 5**
Hobbs, New Mexico

Dear Mr. Randall:

Periodic inspection indicates that the construction has been completed pursuant to the plans, and specifications.

We, therefore, recommend acceptance by the City.

If you have any questions regarding the project, please contact our office.

Sincerely,

the Ross Group

Philip L. Ross, PE

Cc: Kevin Robinson

TANGLEWOOD UNIT SIX
AT RANCHVIEW ESTATES SUBDIVISION
TO THE CITY OF HOBBS, LEA COUNTY, NEW MEXICO

LOCATED IN THE EAST HALF OF SECTION 23,
TOWNSHIP 18 SOUTH, RANGE 38 EAST, N.M.P.M., CITY OF HOBBS,
LEA COUNTY, NEW MEXICO

OWNER'S STATEMENT, DEDICATION AND AFFIDAVIT:

THE FOREGOING SUBDIVISION OF A PORTION OF TRACT 11, AS SHOWN ON THAT CERTAIN PLAT RECORDED ON AUGUST 9, 2019, IN SURVEY RECORDS BOOK 2, PAGE 584 OF THE OFFICIAL RECORDS OF LEA COUNTY, NEW MEXICO AND SITUATED WITHIN THE CORPORATE BOUNDARIES OF THE CITY OF HOBBS, LEA COUNTY, NEW MEXICO, LOCATED IN THE EAST HALF OF SECTION 23, TOWNSHIP 18 SOUTH, RANGE 38 EAST, N.M.P.M., AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A 1/2" STEEL ROD WITH CAP MARKED "JWSC PS 12641" FOUND AT THE NORTHWEST CORNER OF TANGLEWOOD UNIT FIVE AT RANCHVIEW ESTATES SUBDIVISION TO THE CITY OF HOBBS, LEA COUNTY, NEW MEXICO, FOR THE NORTHEAST CORNER OF THIS TRACT, THEN S00°37'40"E ALONG THE WEST LINE OF SAID TANGLEWOOD UNIT FIVE A DISTANCE OF 117.46 FEET TO A 1/2" STEEL ROD WITH CAP MARKED "JWSC PS 12641" FOUND FOR THE SOUTHWEST CORNER OF LOT 45, TANGLEWOOD UNIT FIVE AND A CORNER OF THIS TRACT, THEN S89°22'20"W A DISTANCE 36.00 FEET TO A 1/2" STEEL ROD WITH CAP MARKED "JWSC PS 12641" FOUND AT A CORNER OF SAID UNIT FIVE FOR A CORNER OF THIS TRACT, THEN S00°37'40"E ALONG THE WEST LINE OF SAID UNIT FIVE A DISTANCE OF 86.65 FEET TO A 1/2" STEEL ROD WITH CAP MARKED "JWSC PS 12641" FOUND AT A CORNER OF SAID UNIT FIVE FOR A CORNER OF THIS TRACT, THEN N89°22'20"E A DISTANCE OF 29.05 FEET TO A 1/2" STEEL ROD WITH CAP MARKED "JWSC PS 12641" FOUND AT A CORNER OF SAID UNIT FIVE FOR A CORNER OF THIS TRACT, THEN S00°37'40"E ALONG THE WEST LINE OF SAID UNIT FIVE A DISTANCE OF 18.00 FEET TO A 1/2" STEEL ROD WITH CAP MARKED "JWSC PS 12641" FOUND FOR THE SOUTHWEST CORNER OF SAID UNIT FIVE AND THE SOUTHEAST CORNER OF THIS TRACT AND BEING A POINT ON THE NORTH LINE OF THE SECOND UNIT OF THE TAYLOR ESTATES ADDITION TO THE CITY OF HOBBS, THEN S89°22'20"W ALONG SAID NORTH LINE A DISTANCE OF 342.07 FEET TO A 1/2" STEEL ROD WITH CAP MARKED "JWSC PS 12641" FOUND FOR A POINT ON THE EAST LINE OF A TRACT OF LAND CONVEYED TO THE HOBBS MUNICIPAL SCHOOLS DISTRICT No. 16 (HMS 16), BY WARRANTY DEED RECORDED IN BOOK 276, PAGE 194 OF THE OFFICIAL RECORDS OF LEA COUNTY, NEW MEXICO, AND A CORNER OF THIS TRACT, THEN N00°43'21"W ALONG THE EAST LINE OF SAID HOBBS MUNICIPAL SCHOOLS TRACT A DISTANCE OF 285.00 FEET TO A 1/2" STEEL ROD WITH CAP MARKED "JWSC PS 12641" FOUND FOR A CORNER OF THIS TRACT, THEN N89°22'20"E A DISTANCE OF 15.90 FEET TO A 1/2" STEEL ROD WITH CAP MARKED "JWSC PS 12641" FOUND FOR A CORNER OF THIS TRACT, THEN N00°43'21"W A DISTANCE OF 515.76 FEET TO A 1/2" STEEL ROD WITH CAP MARKED "JWSC PS 12641" FOUND FOR THE NORTHWEST CORNER OF THIS TRACT, THEN N89°18'55"E A DISTANCE OF 336.45 FEET TO THE POINT OF BEGINNING.

SAID PROPERTY IS BEING SUBDIVIDED AS THE SAME APPEARS HEREON, WITH ALL RIGHTS-OF-WAY AS SHOWN BEING DEDICATED TO THE PUBLIC, COMPRISING TANGLEWOOD UNIT SIX AT RANCHVIEW ESTATES, TO THE CITY OF HOBBS, WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETORS THEREOF. NOTICE IS HEREBY GIVEN THAT THERE HAS BEEN FILED IN THE OFFICE OF THE COUNTY CLERK OF LEA COUNTY, NEW MEXICO, CERTAIN RESTRICTIVE COVENANTS APPLICABLE TO THE ABOVE DESCRIBED PROPERTY, WHICH SAID COVENANTS ARE RECORDED ON PAGE _____ OF BOOK _____ OF MISCELLANEOUS RECORDS OF LEA COUNTY.

OWNER: ADALBERTO CABALLERO, MEMBER
A & J LAND LLC

OWNER: JOSIE CABALLERO, MEMBER
A & J LAND LLC

ACKNOWLEDGMENT

STATE OF NEW MEXICO
COUNTY OF LEA

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2021 A.D., BY
ADALBERTO CABALLERO, A & J LAND LLC.

NOTARY PUBLIC

ACKNOWLEDGMENT

STATE OF NEW MEXICO
COUNTY OF LEA

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2021 A.D., BY
JOSIE CABALLERO, A & J LAND LLC.

NOTARY PUBLIC

CERTIFICATE OF MUNICIPAL APPROVAL:

I, JAN FLETCHER, THE DULY APPOINTED AND ACTING CITY CLERK OF THE CITY OF HOBBS, LEA COUNTY, NEW MEXICO, DO HEREBY CERTIFY THAT THE FOREGOING PLAT OF TANGLEWOOD UNIT SIX AT RANCHVIEW ESTATES SUBDIVISION, WAS APPROVED BY THE COMMISSION OF THE CITY OF HOBBS BY RESOLUTION No. _____ ON THE _____ DAY OF _____, 2021 A.D.

JAN FLETCHER, CITY CLERK

ACKNOWLEDGMENT:

STATE OF NEW MEXICO
COUNTY OF LEA

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2021 A.D., BY JAN FLETCHER.

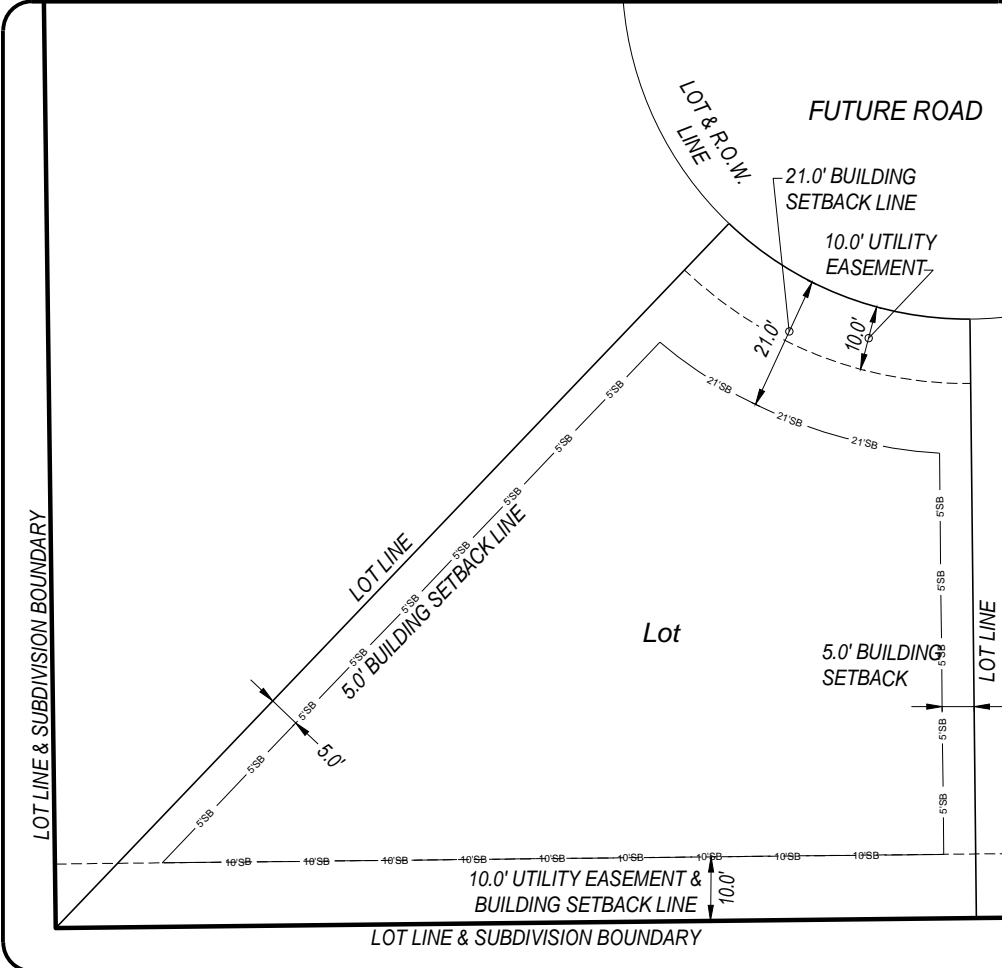
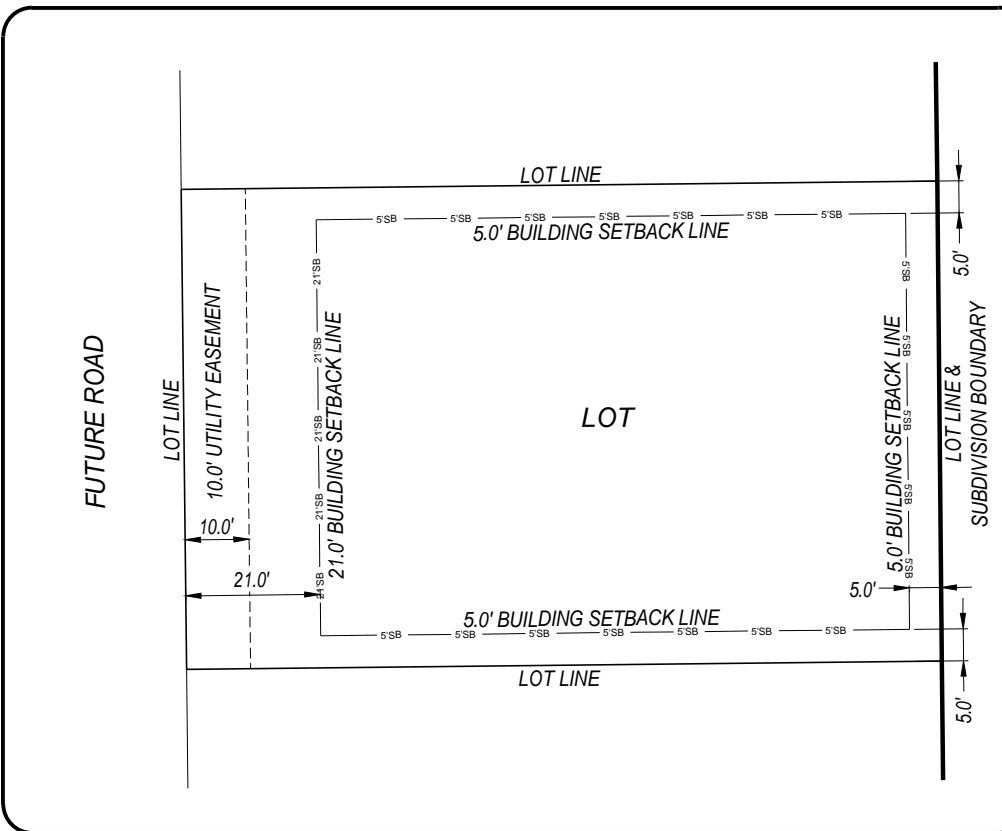
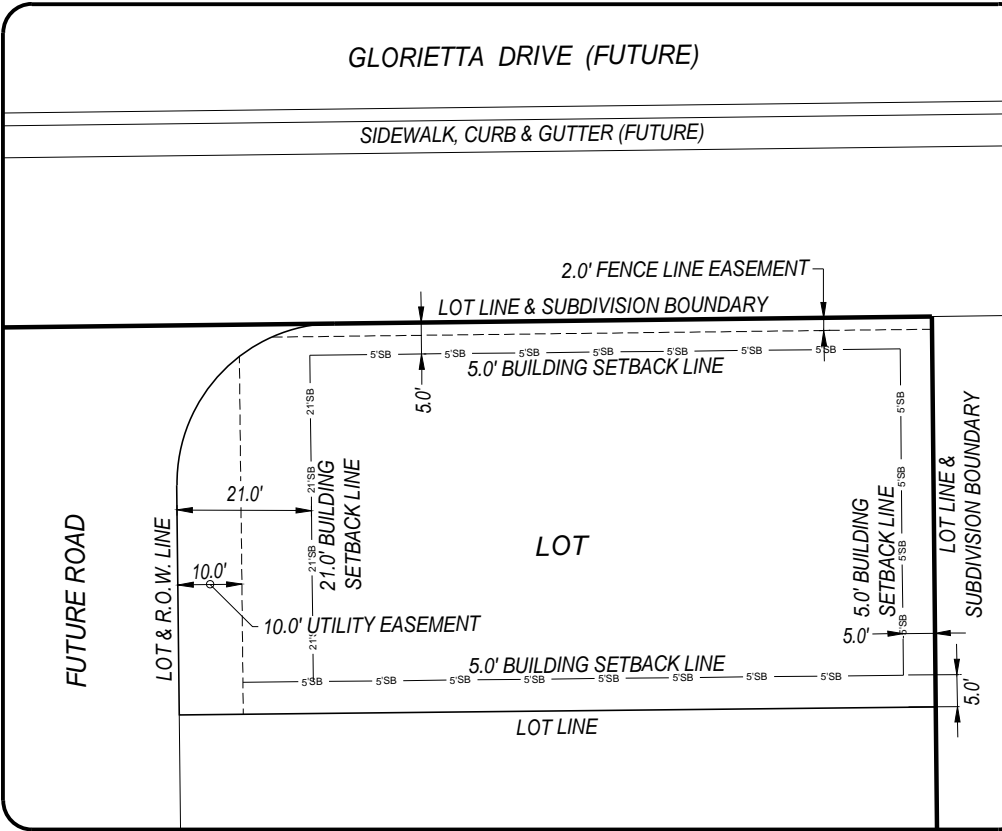
NOTARY PUBLIC

TYPICAL DETAILS: LOT EASEMENTS AND SETBACKS

SCALE: 1" = 30'

EASEMENT AND SETBACK NOTES:

- 1) A TEN FOOT UTILITY EASEMENT IS HEREBY RESERVED AROUND AND WITHIN ALL LOTS ADJOINING RIGHTS-OF-WAY (EXCEPT GLORIETTA DRIVE, RIGHT-OF-WAY), ALL RIGHTS-OF-WAY ARE DEDICATED THIS PLAT.
- 2) A TWO FOOT UTILITY & FENCE EASEMENT IS HEREBY RESERVED ALONG LOT LINES ADJOINING THE NORTH LINE OF THIS SUBDIVISION PARCEL.
- 3) LOT FRONT SETBACK LINES ARE 21.00 FEET. LOT SIDE AND REAR SETBACK LINES ARE 5.0 FEET EXCEPT ALONG RIGHTS-OF-WAY, WHERE 10.00 FOOT SIDE SETBACK LINES APPLY.



CERTIFICATE OF APPROVAL BY THE CITY PLANNING BOARD:

THE PLAT, RESTRICTIONS AND DEDICATION REVIEWED AND APPROVED ON THE _____ DAY OF _____, 2021 A.D., BY THE CITY PLANNING BOARD OF HOBBS, NEW MEXICO.

CHAIRMAN: WILLIAM M. HICKS III

ACKNOWLEDGMENT:

STATE OF NEW MEXICO
COUNTY OF LEA

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2021 A.D., BY WILLIAM M. HICKS III.

NOTARY PUBLIC

NOTES:

- 1) BEARINGS SHOWN HEREON ARE MERCATOR GRID AND CONFORM TO THE NEW MEXICO COORDINATE SYSTEM "NEW MEXICO EAST ZONE" NORTH AMERICAN DATUM 1983. DISTANCES ARE SURFACE VALUES.
- 2) WITH RESPECT TO THE FLOOD INSURANCE RATE MAP FOR LEA COUNTY, NEW MEXICO AND INCORPORATED AREAS, PANEL 1255 OF 2155, MAP No. 36225C1365D, EFFECTIVE DATE, DECEMBER 16, 2008, THE ABOVE DESCRIBED PROPERTY LOCATED IN THE SOUTH HALF OF SECTION 23, TOWNSHIP 18 SOUTH, RANGE 38 EAST, N.M.P.M., CITY OF HOBBS, LEA COUNTY, NEW MEXICO, IS LOCATED IN ZONE D, BEING DEFINED AS AREAS IN WHICH FLOOD HAZARDS ARE UNDETERMINED, BUT POSSIBLE.

LEGEND:

- - DENOTES FOUND 1/2" STEEL ROD W/CAP MARKED "JWSC PS 12641"
- - DENOTES SET 1/2" STEEL ROD W/CAP MARKED "JWSC PS 12641"
- - DENOTES DIMENSION POINT
- - - - - DENOTES CENTERLINE OF ROADWAY
- - - - - DENOTES 10 FT. UTILITY EASEMENT
- - - - - DENOTES 5 FT. BUILDING SETBACK LINE
- - - - - DENOTES 10 FT. BUILDING SETBACK LINE
- - - - - DENOTES 21 FT. BUILDING SETBACK LINE

| CURVE | RADIUS | ARC LENGTH | DELTA ANGLE | CHORD BEARING | CHORD LENGTH |
|-------|--------|------------|--------------|---------------------|--------------|
| C1 | 25.00' | 39.27' | S45°15'10" W | B () S 45°15'10" W | 35.37' |
| C2 | 25.00' | 39.27' | S45°15'10" W | B () S 45°15'10" W | 35.36' |
| C3 | 25.00' | 39.27' | S45°15'10" W | B () S 45°15'10" W | 35.36' |
| C4 | 20.00' | 9.57' | S45°15'10" W | B () S 45°15'10" W | 9.48' |
| C5 | 20.00' | 13.97' | S45°15'10" W | B () S 45°15'10" W | 13.69' |
| C6 | 54.00' | 38.37' | S45°15'10" W | B () S 45°15'10" W | 37.57' |
| C7 | 54.00' | 49.24' | S45°15'10" W | B () S 45°15'10" W | 47.55' |
| C8 | 54.00' | 33.90' | S45°15'10" W | B () S 45°15'10" W | 33.34' |
| C9 | 54.00' | 24.81' | S45°15'10" W | B () S 45°15'10" W | 24.59' |
| C10 | 54.00' | 22.81' | S45°15'10" W | B () S 45°15'10" W | 22.64' |
| C11 | 54.00' | 24.50' | S45°15'10" W | B () S 45°15'10" W | 24.29' |
| C12 | 20.00' | 9.55' | S45°15'10" W | B () S 45°15'10" W | 9.46' |
| C13 | 20.00' | 7.21' | S45°15'10" W | B () S 45°15'10" W | 7.17' |
| C14 | 25.00' | 39.27' | S45°15'10" W | B () S 45°15'10" W | 35.36' |
| C15 | 25.00' | 39.27' | S45°15'10" W | B () S 45°15'10" W | 35.36' |
| C16 | 25.00' | 39.27' | S45°15'10" W | B () S 45°15'10" W | 35.36' |
| C17 | 25.00' | 39.25' | S45°15'10" W | B () S 45°15'10" W | 35.34' |

| LOT # | SQ. FT. | ACRES |
|--------|---------|-------|
| Lot 1 | 4424.80 | 0.10 |
| Lot 2 | 2933.77 | 0.07 |
| Lot 3 | 2934.39 | 0.07 |
| Lot 4 | 8019.80 | 0.18 |
| Lot 5 | 4677.83 | 0.11 |
| Lot 6 | 3007.47 | 0.07 |
| Lot 7 | 3007.47 | 0.07 |
| Lot 8 | 3608.97 | 0.08 |
| Lot 9 | 3608.97 | 0.08 |
| Lot 10 | 3007.47 | 0.07 |
| Lot 11 | 3007.47 | 0.07 |
| Lot 12 | 3608.97 | 0.08 |
| Lot 13 | 3608.97 | 0.08 |
| Lot 14 | 3007.47 | 0.07 |
| Lot 15 | 3007.47 | 0.07 |
| Lot 16 | 3608.97 | 0.08 |
| Lot 17 | 3608.97 | 0.08 |
| Lot 18 | 3007.47 | 0.07 |
| Lot 19 | 3007.47 | 0.07 |
| Lot 20 | 3671.38 | 0.08 |
| Lot 21 | 4720.00 | 0.11 |
| Lot 22 | 2950.00 | 0.07 |
| Lot 23 | 2950.00 | 0.07 |
| Lot 24 | 3540.00 | 0.08 |
| Lot 25 | 3537.02 | 0.08 |
| Lot 26 | 2692.50 | 0.06 |
| Lot 27 | 2367.55 | 0.05 |
| Lot 28 | 2873.98 | 0.07 |
| Lot 29 | 9431.98 | 0.22 |
| Lot 30 | 9173.41 | 0.21 |
| Lot 31 | 3487.40 | 0.08 |
| Lot 32 | 3395.35 | 0.08 |
| Lot 33 | 3403.11 | 0.08 |
| Lot 34 | 4059.07 | 0.09 |
| Lot 35 | 3609.79 | 0.08 |
| Lot 36 | 3009.30 | 0.07 |
| Lot 37 | 3010.33 | 0.07 |
| Lot 38 | 3613.76 | 0.08 |
| Lot 39 | 3615.25 | 0.08 |
| Lot 40 | 3013.84 | 0.07 |
| Lot 41 | 3014.88 | 0.07 |
| Lot 42 | 3619.21 | 0.08 |
| Lot 43 | 3620.70 | 0.08 |
| Lot 44 | 3018.39 | 0.07 |
| Lot 45 | 3019.42 | 0.07 |
| Lot 46 | 4699.10 | 0.11 |
| Lot 47 | 4420.33 | 0.10 |
| Lot 48 | 2929.75 | 0.07 |
| Lot 49 | 2929.13 | 0.07 |
| Lot 50 | 3637.66 | 0.08 |

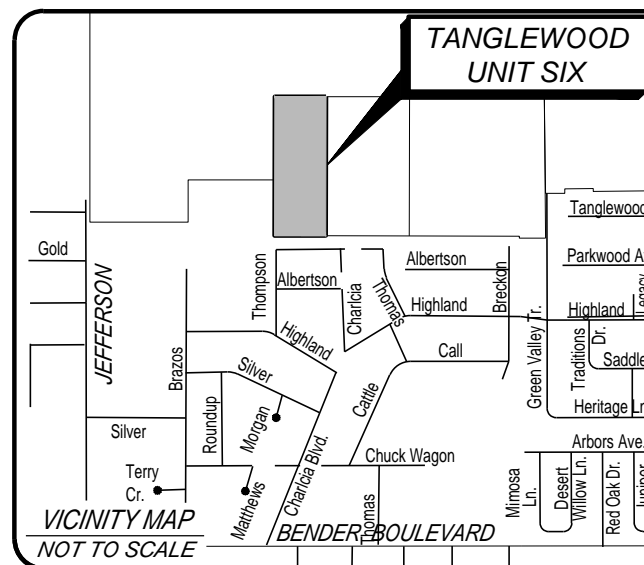
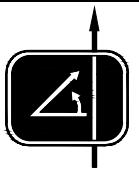
| LINE | CHORD BEARING | LENGTH |
|------|---------------------|--------|
| L1 | S45°15'10" W | 5.83' |
| L2 | B () S 45°15'10" W | 10.69' |
| L3 | B () S 45°15'10" W | 5.44' |
| L4 | B () S 45°15'10" W | 10.21' |

SURVEYOR'S CERTIFICATE:

I, GARY G. EDSON, NEW MEXICO PROFESSIONAL SURVEYOR No. 12641, DO HEREBY CERTIFY THAT THIS SURVEY PLAT AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WERE PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION; THAT I AM RESPONSIBLE FOR THIS SURVEY; THAT THIS SURVEY MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO; AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

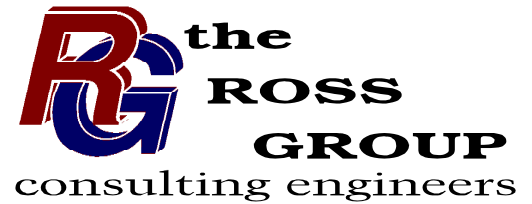
DATE: _____

PROVIDING SURVEYING SERVICES
SINCE 1946
JOHN WEST SURVEYING COMPANY
412 N. DAL PASO HOBBS, N.M. 88240
(787) 393-3117 www.jwsurvey.com
TBLPS# 10021000



Scale: One Inch = Sixty Feet
CAD Drafter & Date: DSS - 03/13/2020
JWSC W.O. No.: 2011.0045
JWSC File No.: E-3546C
© 2013/2020 Tanglewood Unit Six

STATE OF NEW MEXICO
COUNTY OF LEA - FILED:



July 26, 2021

Mr. Todd Randall
City Engineer
City of Hobbs
200 E. Broadway
Hobbs, New Mexico 88240

Re: **Tanglewood Unit 6**
Hobbs, New Mexico

Dear Mr. Randall:

Periodic inspection indicates that the construction has been completed pursuant to the plans, and specifications.

We, therefore, recommend acceptance by the City.

If you have any questions regarding the project, please contact our office.

Sincerely,

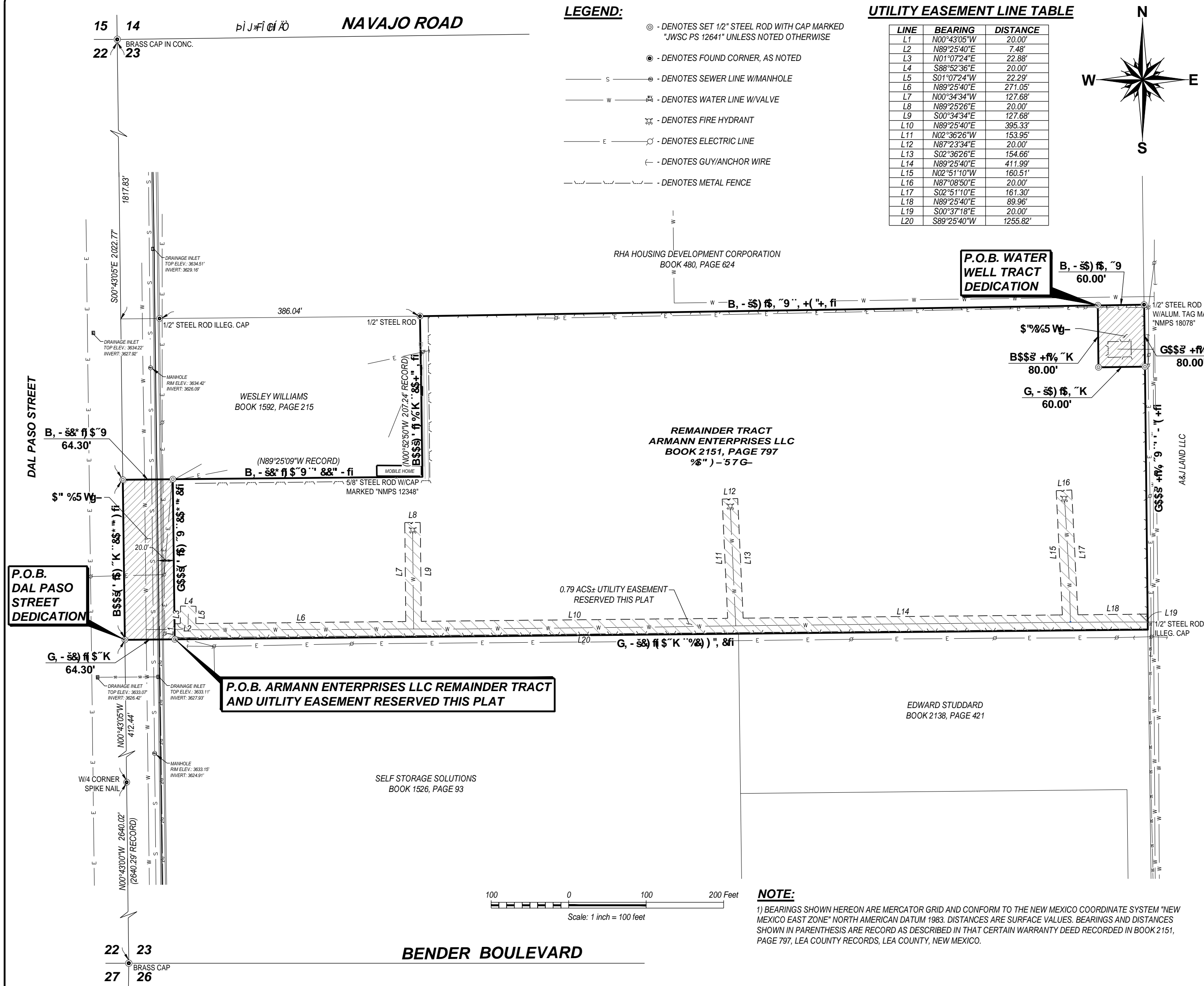
the Ross Group

Philip L. Ross, PE

Cc: Kevin Robinson

September 21, 2021
Planning Board Regular Meeting

- 7) **Review and Consider Dedication Plat dedicating a portion of North Dal Paso and a water well site as submitted by Armann Enterprises, LLC, property owner.**



**DAL PASO RV PARK, ROADWAY AND WATER WELL TRACT DEDICATION
IN THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER
(SW/4 NW/4) OF SECTION 23, TOWNSHIP 18 SOUTH, RANGE 38 EAST,
N.M.P.M., CITY OF HOBBS, LEA COUNTY, NEW MEXICO**

REMAINDER TRACT DESCRIPTION

A TRACT OF LAND OUT OF THAT CERTAIN TRACT CONVEYED TO ARMANN ENTERPRISES, LLC BY DEED RECORDED IN BOOK 2151, PAGE 797, LEA COUNTY RECORDS, LEA COUNTY, NEW MEXICO, LOCATED IN THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER (SW/4 NW/4) OF SECTION 23, TOWNSHIP 18 SOUTH, RANGE 38 EAST, N.M.P.M., CITY OF HOBBS, LEA COUNTY, NEW MEXICO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A BRASS CAP FOUND FOR THE NORTHWEST CORNER OF SAID SECTION 23, THENCE S00°43'05"E ALONG THE WEST LINE OF SAID SECTION A DISTANCE OF 2229.42 FEET AND N89°25'40"E 64.30 FEET TO A 1/2" STEEL ROD WITH CAP MARKED "JWSC PS 12641" SET FOR THE SOUTHWEST CORNER OF THIS TRACT AND THE POINT OF BEGINNING; THENCE N00°43'05"W A DISTANCE OF 206.62 FEET TO A 1/2" STEEL ROD WITH CAP MARKED "JWSC PS 12641" SET FOR A CORNER OF THIS TRACT; THENCE N89°26'50"E A DISTANCE OF 322.39 FEET TO A 5/8" STEEL ROD WITH CAP MARKED "NMPS 12348" FOUND FOR A CORNER OF THIS TRACT; THENCE N00°53'51"W A DISTANCE OF 207.38 FEET TO A 1/2" STEEL ROD FOUND FOR THE NORTHWEST CORNER OF THIS TRACT; THENCE N89°05'08"E A DISTANCE OF 874.78 FEET TO A 1/2" STEEL ROD WITH CAP MARKED "JWSC PS 12641" SET FOR A CORNER OF THIS TRACT; THENCE S00°37'18"E A DISTANCE OF 80.00 FEET TO A 1/2" STEEL ROD WITH CAP MARKED "JWSC PS 12641" SET FOR A CORNER OF THIS TRACT; THENCE N89°05'08"E A DISTANCE OF 60.00 FEET TO A 1/2" STEEL ROD WITH CAP MARKED "JWSC PS 12641" SET FOR A CORNER OF THIS TRACT; THENCE S00°37'18"E A DISTANCE OF 339.47 FEET TO 1/2" STEEL ROD (ILLEGIBLE CAP) FOUND FOR THE SOUTHEAST CORNER OF THIS TRACT; THENCE S89°25'40"W A DISTANCE OF 1255.82 FEET TO THE POINT OF BEGINNING, CONTAINING 10.35 ACRES MORE OR LESS.

SUBJECT TO AN UTILITY EASEMENT BEING RESERVED AND FURTHER DESCRIBED AS FOLLOWS:
BEGINNING AT THE SOUTHWEST CORNER OF THE PREVIOUSLY DESCRIBED REMAINDER TRACT, THENCE N00°43'05"W A DISTANCE OF 20.00 FEET TO A CORNER OF THIS EASEMENT TRACT; THENCE N89°25'40"E A DISTANCE OF 7.48 FEET TO A CORNER OF THIS EASEMENT TRACT; THENCE N01°07'24"E A DISTANCE OF 22.88 FEET TO A CORNER OF THIS EASEMENT TRACT; THENCE S88°52'36"E A DISTANCE OF 20.00 FEET TO A CORNER OF THIS EASEMENT TRACT; THENCE S01°07'24"W A DISTANCE OF 22.29 FEET TO A CORNER OF THIS EASEMENT TRACT; THENCE N89°25'26"E A DISTANCE OF 271.05 FEET TO A CORNER OF THIS EASEMENT TRACT; THENCE N00°34'34"W A DISTANCE OF 127.68 FEET TO A CORNER OF THIS EASEMENT TRACT; THENCE N89°25'40"E A DISTANCE OF 395.33 FEET TO A CORNER OF THIS EASEMENT TRACT; THENCE N89°25'40"E A DISTANCE OF 411.99 FEET TO A CORNER OF THIS EASEMENT TRACT; THENCE S02°36'26"E A DISTANCE OF 154.66 FEET TO A CORNER OF THIS EASEMENT TRACT; THENCE N89°25'40"E A DISTANCE OF 411.99 FEET TO A CORNER OF THIS EASEMENT TRACT; THENCE N02°51'10"W A DISTANCE OF 160.51 FEET TO A CORNER OF THIS EASEMENT TRACT; THENCE S02°51'10"E A DISTANCE OF 161.30 FEET TO A CORNER OF THIS EASEMENT TRACT; THENCE N89°25'40"E A DISTANCE OF 89.96 FEET TO A CORNER OF THIS EASEMENT TRACT; THENCE S00°37'18"E A DISTANCE OF 20.00 FEET TO A CORNER OF THIS EASEMENT TRACT; THENCE S89°25'40"W A DISTANCE OF 1255.82 FEET TO THE POINT OF BEGINNING, SAID UTILITY EASEMENT CONTAINING 0.79 ACRES MORE OR LESS.

DAL PASO STREET DEDICATION DESCRIPTION

A TRACT OF LAND OUT OF THAT CERTAIN TRACT CONVEYED TO ARMANN ENTERPRISES, LLC BY DEED RECORDED IN BOOK 2151, PAGE 797, LEA COUNTY RECORDS, LEA COUNTY, NEW MEXICO, LOCATED IN THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER (SW/4 NW/4) OF SECTION 23, TOWNSHIP 18 SOUTH, RANGE 38 EAST, N.M.P.M., LEA COUNTY, NEW MEXICO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A BRASS CAP FOUND FOR THE NORTHWEST CORNER OF SAID SECTION 23, THENCE S00°43'05"E ALONG THE WEST LINE OF SAID SECTION A DISTANCE OF 2229.41 FEET TO THE SOUTHWEST CORNER OF THIS TRACT AND THE POINT OF BEGINNING; THENCE N00°43'05"W ALONG SAID WEST SECTION LINE A DISTANCE OF 206.65 FEET TO A 1/2" STEEL ROD WITH CAP MARKED "JWSC PS 12641" SET FOR THE NORTHWEST CORNER OF THIS TRACT; THENCE N89°26'50"E A DISTANCE OF 64.30 FEET TO A 1/2" STEEL ROD WITH CAP MARKED "JWSC PS 12641" TO THE NORTHEAST CORNER OF THIS TRACT; THENCE S00°43'05"E A DISTANCE OF 206.62 TO A 1/2" STEEL ROD WITH CAP MARKED "JWSC PS 12641" SET FOR THE SOUTHEAST CORNER OF THIS TRACT; THENCE S89°25'40"W A DISTANCE OF 64.30 FEET TO THE POINT OF BEGINNING, CONTAINING 0.31 ACRES MORE OR LESS.

WATER WELL TRACT DEDICATION DESCRIPTION

A TRACT OF LAND OUT OF THAT CERTAIN TRACT CONVEYED TO ARMANN ENTERPRISES, LLC BY DEED RECORDED IN BOOK 2151, PAGE 797, LEA COUNTY RECORDS, LEA COUNTY, NEW MEXICO, LOCATED IN THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER (SW/4 NW/4) OF SECTION 23, TOWNSHIP 18 SOUTH, RANGE 38 EAST, N.M.P.M., LEA COUNTY, NEW MEXICO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A BRASS CAP FOUND FOR THE NORTHWEST CORNER OF SAID SECTION 23, THENCE S00°43'05"E ALONG THE WEST LINE OF SAID SECTION A DISTANCE OF 1817.83 FEET AND N89°05'08"E 1260.82 FEET TO THE POINT OF BEGINNING; THENCE N89°05'08"E A DISTANCE OF 60.00 FEET TO A 1/2" STEEL ROD WITH ALUMINUM TAG MARKED "NMPS 18078" FOUND FOR THE NORTHEAST CORNER OF THIS TRACT; THENCE S00°37'18"E A DISTANCE OF 80.00 FEET TO A 1/2" STEEL ROD WITH CAP MARKED "JWSC PS 12641" SET FOR THE SOUTHWEST CORNER OF THIS TRACT; THENCE S89°05'08"W A DISTANCE OF 60.00 FEET TO A 1/2" STEEL ROD WITH CAP MARKED "JWSC PS 12641" SET FOR THE SOUTHWEST CORNER OF THIS TRACT; THENCE N00°37'18"W A DISTANCE OF 80.00 FEET TO THE POINT OF BEGINNING, CONTAINING 0.11 ACRES MORE OR LESS.

SAID TRACT IS BEING DIVIDED WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER THEREOF SURVEYED AND SUBDIVIDED ACCORDING TO THE TRACTS AS THEY APPEAR ON THE PLAT AFFIXED HEREON, WITH TRACTS BEING DEDICATED FOR PUBLIC USE AND UTILITY EASEMENTS BEING RESERVED AS SHOWN HEREON.

IN WITNESS WHEREOF, THE UNDERSIGNED OWNER OF SAID LAND, HAS HEREUNTO SET HIS HAND THIS _____ OF _____, 2021 A.D.

KHALID FAROOQ
ARMANN ENTERPRISES, LLC
ACKNOWLEDGMENT:
STATE OF NEW MEXICO
COUNTY OF LEA

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2021 A.D.,
BY KHALID FAROOQ, ARMANN ENTERPRISES, LLC.

NOTARY PUBLIC

SURVEYOR'S CERTIFICATE:

I, GARY G. EIDSON, NEW MEXICO PROFESSIONAL SURVEYOR No. 12641, DO HEREBY CERTIFY THAT THIS SURVEY PLAT AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WERE PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION; THAT I AM RESPONSIBLE FOR THIS SURVEY; THAT THIS SURVEY MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO; AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

DATE: _____

PROVIDING SURVEYING SERVICES
SINCE 1946

JOHN WEST SURVEYING COMPANY

412 N. DAL PASO HOBBS, N.M. 88240
(575) 393-3117 www.jwsc.biz
TBPLS# 10021000



**CERTIFICATE OF APPROVAL BY
THE CITY PLANNING BOARD**

THE PLAT, RESTRICTIONS REVIEWED AND APPROVED ON THE _____ DAY OF _____, 2021 A.D. BY THE CITY PLANNING BOARD OF HOBBS, NEW MEXICO.

CHAIRMAN: WILLIAM M. HICKS III

ACKNOWLEDGMENT:

STATE OF NEW MEXICO
COUNTY OF LEA

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY
OF _____, 2021 A.D., BY WILLIAM M. HICKS III.

NOTARY PUBLIC

NOTE:

1) BEARINGS SHOWN HEREON ARE MERCATOR GRID AND CONFORM TO THE NEW MEXICO COORDINATE SYSTEM "NEW MEXICO EAST ZONE" NORTH AMERICAN DATUM 1983. DISTANCES ARE SURFACE VALUES. BEARINGS AND DISTANCES SHOWN IN PARENTHESES ARE RECORD AS DESCRIBED IN THAT CERTAIN WARRANTY DEED RECORDED IN BOOK 2151, PAGE 797, LEA COUNTY RECORDS, LEA COUNTY, NEW MEXICO.

**CERTIFICATE OF MUNICIPAL
APPROVAL BY RESOLUTION:**

I, JAN FLETCHER, THE DULY APPOINTED AND ACTING CITY CLERK OF THE CITY OF HOBBS, LEA COUNTY, NEW MEXICO, DO HEREBY CERTIFY THAT THE FOREGOING PLAT OF "DAL PASO RV PARK ROADWAY AND WATER WELL TRACT DEDICATION," WAS APPROVED BY THE COMMISSION OF THE CITY OF HOBBS BY RESOLUTION No. _____ ON THE _____ OF _____, 2021 A.D.

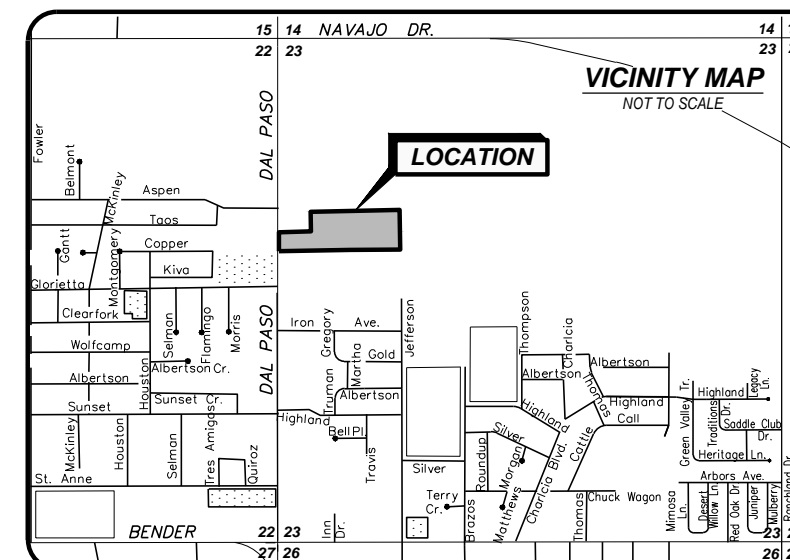
JAN FLETCHER, CITY CLERK

ACKNOWLEDGMENT:

STATE OF NEW MEXICO
COUNTY OF LEA

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY
OF _____, 2021 A.D., BY JAN FLETCHER.

NOTARY PUBLIC



Scale: One Inch = One Hundred Feet
CAD Drafter & Date: DSS - 07/01/2021
JWSC W.O. No.: 21.11.0230
JWSC File No.: D - 1411
Donna S. Dedication 12/02/12 11:02:30 Dedication Armann Ent
W Dal Paso RV Park 323 T18 R38

**STATE OF NEW MEXICO
COUNTY OF LEA - FILED:**

September 21, 2021
Planning Board Regular Meeting

- 8) Review and Consider Vacation & Dedication Plat(s) dedicating a portion of Marland Street and the NS alleyways located NE of the intersection of Marland and Elm Place and vacating the E\W alleyway as submitted by Antonio Rodriguez, property owner.**

PRELIMINARY - AUGUST 29, 2021

**VACATION OF A PORTION OF AN ALLEY
BALLEW ADDITION, CITY OF HOBBS, LEA COUNTY, NEW MEXICO**

DESCRIPTION VACATION TRACT:

AN ALLEY VACATION LOCATED WITHIN THE BALLEW ADDITION, CITY OF HOBBS, LEA COUNTY, NEW MEXICO, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS.

[illegible]

CERTIFICATE OF APPROVAL BY THE CITY PLANNING BOARD:

THIS VACATION PLAT REVIEWED AND APPROVED ON THE _____ DAY OF _____, 2021 A.D., BY THE CITY PLANNING AND ZONING BOARD OF HOBBS, LEA COUNTY, NEW MEXICO.

CHAIRMAN: WILLIAM M. HICKS III

ACKNOWLEDGMENT:

STATE OF NEW MEXICO
COUNTY OF LEA

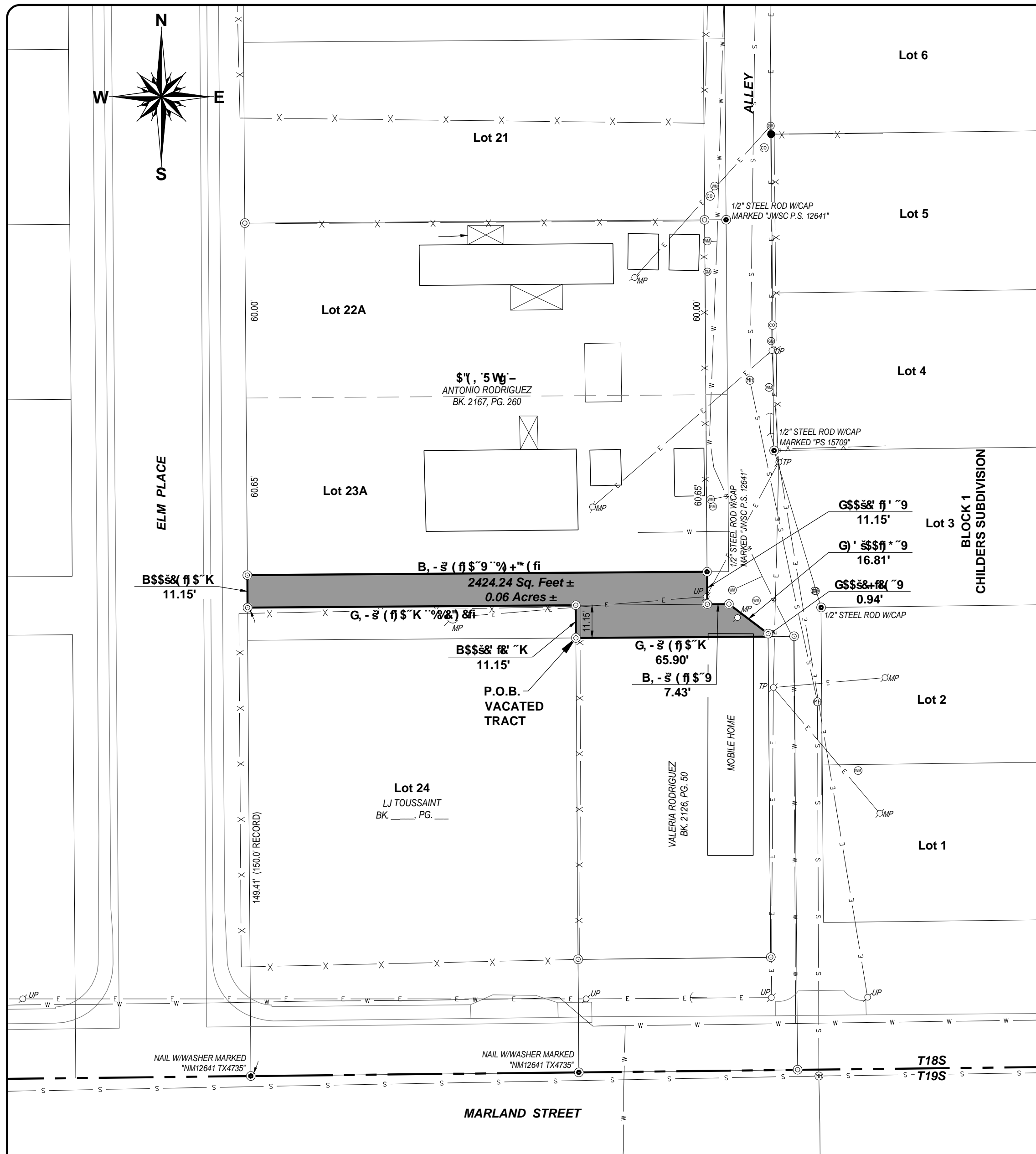
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2021 A.D., BY WILLIAM M. HICKS III

NOTARY PUBLIC

CERTIFICATE OF MUNICIPAL APPROVAL

I, JAM FLETCHER THE DULY APPOINTED AND ACTING CITY CLERK OF THE CITY OF HOBBS, LEA COUNTY, NEW MEXICO, DO HEREBY CERTIFY THAT THE FOREGOING PLAT OF A ALLEY VACATION BY THE CITY OF HOBBS, NEW MEXICO, WAS APPROVED BY THE COMMISSION OF THE CITY OF HOBBS BY RESOLUTION No. _____ ON THE _____ DAY OF _____, 2021 A.D.

JAN FLETCHER, CITY CLERK



LEGEND:

- (C) - DENOTES SET CORNER 1/2" STEEL ROD W/CAP MARKED "JWSC PS12641", UNLESS NOTED OTHERWISE
- - DENOTES FOUND CORNER, AS NOTED
- ⊕ - DENOTES GAS METER
- S ———— ⊗ ———— - DENOTES SEWER LINE W/MANHOLE
- ⊙ - DENOTES SEWER LINE CLEANOUT
- W ———— ⊗ ———— - DENOTES WATER LINE W/METER
- E ———— ⌋ ———— - DENOTES ELECTRIC LINE W/POLE AS NOTED
UP UTILITY POLE TP TRANSFORMER POLE
- ← - DENOTES GUY/ANCHOR WIRE
- X ———— - DENOTES FENCE LINE

NOTE

1) BEARINGS SHOWN HEREON ARE MERCATOR GRID AND CONFORM TO THE NEW MEXICO COORDINATE SYSTEM "NEW MEXICO EAST ZONE" NORTH AMERICAN DATUM 1983. DISTANCES ARE SURFACE VALUES.

2) ADJACENT OWNERSHIP OBTAINED FROM LEA COUNTY ASSESSOR'S OFFICE

3) DATE OF SURVEY: SEPTEMBER 15, 2021

SURVEYOR'S CERTIFICATE:

I, GARY G. EIDSON, NEW MEXICO PROFESSIONAL SURVEYOR No. 12641, DO HEREBY CERTIFY THAT THIS SURVEY PLAT AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WERE PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION; THAT I AM RESPONSIBLE FOR THIS SURVEY; THAT THIS SURVEY MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO; AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF

DATE: _____

PROVIDING SURVEYING SERVICES
SINCE 1946

JOHN WEST SURVEYING COMPANY

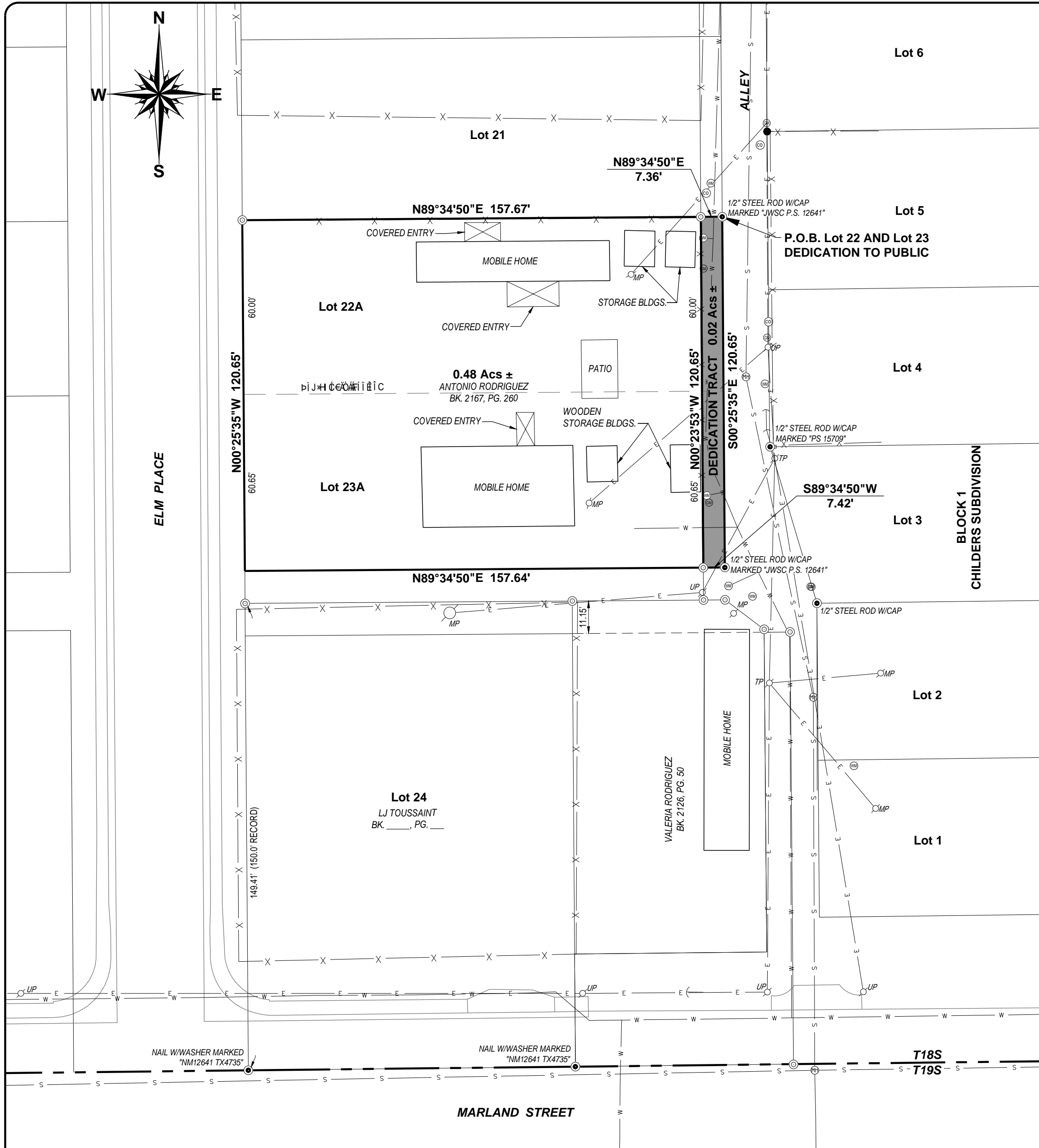
J. DAL PASO HOBBS, N.M. &
(575) 393-3117 www.jwsc.biz
TRPL S# 10021000

Scale: One Inch = Two-Hundred Feet
CAD Drafter & Date: DSS - 06/14/2021
JWSC W.O. No.: 20.11.0026
JWSC File No.: D -1410C

© DonnaSVacation\2020\20110026 City of Hobbs Lots 22 and 23 Bellow Adds Vacation and Dedication of Alley

STATE OF NEW MEXICO
COUNTY OF LEA - FILED:

PRELIMINARY - AUGUST 29, 2021
This document shall not be recorded for any purpose and shall not be used or relied upon as a final survey document.



**DEDICATION OF A PORTION OF LOTS 22 AND 23,
BALLEW ADDITION, CITY OF HOBBS, LEA COUNTY, NEW MEXICO**

DESCRIPTION OF A PORTION OF LOT 22 AND LOT 23 DEDICATED TO THE PUBLIC:

A TRACT OF LAND DEDICATED FOR PUBLIC USE OUT OF LOT 22 AND LOT 23, BALLEW ADDITION, CITY OF HOBBS, LEA COUNTY, NEW MEXICO, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A 1/2" STEEL ROD WITH CAP MARKED "JWSC PS 12641" FOUND FOR THE NORTHEAST CORNER OF THIS TRACT AND THE NORTHEAST CORNER OF SAID LOT 22. THENCE
N89°34'50"E 157.67' TO THE NORTHEAST CORNER OF LOT 22A; THENCE
S00°25'35"W 120.65' TO THE NORTHEAST CORNER OF LOT 23A; THENCE
N89°34'50"E 157.64' TO THE NORTHEAST CORNER OF LOT 24; THENCE
S00°25'35"W 120.65' TO THE NORTHEAST CORNER OF LOT 23; THENCE
S89°34'50"W 7.42' TO THE NORTHEAST CORNER OF LOT 22; THENCE
N89°34'50"E 157.67' TO THE NORTHEAST CORNER OF LOT 22A. BEING 0.02 ACRES ± MORE OR LESS.

SAID TRACT IS BEING DEDICATED FOR PUBLIC USE AND LOTS REPLATTED AS THE SAME APPEARS HEREON WITH THE FREE CONSENT AND IN ACCORDANCE WITH DESIRES OF THE UNDERSIGNED OWNER AND PROPRIETOR THEREOF.

ANTONIO RODRIGUEZ
(BOOK 2167, PAGE 280)

ACKNOWLEDGMENT:

STATE OF NEW MEXICO
COUNTY OF LEA

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2021 A.D., BY ANTONIO RODRIGUEZ.

NOTARY PUBLIC

CERTIFICATE OF MUNICIPAL APPROVAL:

I, KEVIN ROBINSON, DEVELOPMENT DIRECTOR FOR THE CITY OF HOBBS, LEA COUNTY, NEW MEXICO, DO HEREBY CERTIFY THAT THE FOREGOING PLAT IN THE CITY OF HOBBS, LEA COUNTY, NEW MEXICO, WAS REVIEWED AND DEEMED COMPLIANT WITH THE MUNICIPAL SUMMARY PROCESS REGULATIONS ON TTHIS _____ DAY OF _____, 2021 A.D.

KEVIN ROBINSON, DEVELOPMENT DIRECTOR

ATTEST:
JAN FLETCHER, CITY CLERK

ACKNOWLEDGMENT:

STATE OF NEW MEXICO
COUNTY OF LEA

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2021 A.D., BY KEVIN ROBINSON AND JAN FLETCHER.

NOTARY PUBLIC

LEGEND:

- - DENOTES SET CORNER 1/2" STEEL ROD W/CAP MARKED "JWSC PS12641", UNLESS NOTED OTHERWISE
- - DENOTES FOUND CORNER, AS NOTED
- ⊙ - DENOTES GAS METER
- S — ⊙ — - DENOTES SEWER LINE W/MANHOLE
- S — ⊙ — - DENOTES SEWER LINE CLEANOUT
- W — ⊙ — - DENOTES WATER LINE W/METER
- E — ⊙ — - DENOTES ELECTRIC LINE W/POLE AS NOTED
UP UTILITY POLE TP TRANSFORMER POLE MP METER POLE
- ← - DENOTES GUY/ANCHOR WIRE
- X — - DENOTES FENCE LINE

NOTE:

- BEARINGS SHOWN HEREON ARE MERCATOR GRID AND CONFORM TO THE NEW MEXICO COORDINATE SYSTEM "NEW MEXICO EAST ZONE" NORTH AMERICAN DATUM 1983. DISTANCES ARE SURFACE VALUES.
- ADJACENT OWNERSHIP OBTAINED FROM LEA COUNTY ASSESSOR'S OFFICE.
- DATE OF SURVEY: SEPTEMBER 15, 2021.

Scale: One Inch = Two-Hundred Feet
CAD Drafter & Date: DSS - 06/14/2021
JWSC W.O. No.: 20.11.0026
JWSC File No.: D - 1410A

© DonnaSVacation/2020/2021/10026 City of Hobbs Lots 22 and 23 Ballew Addn Vacation and Dedication of Alley

STATE OF NEW MEXICO
COUNTY OF LEA - FILED:

SURVEYOR'S CERTIFICATE:

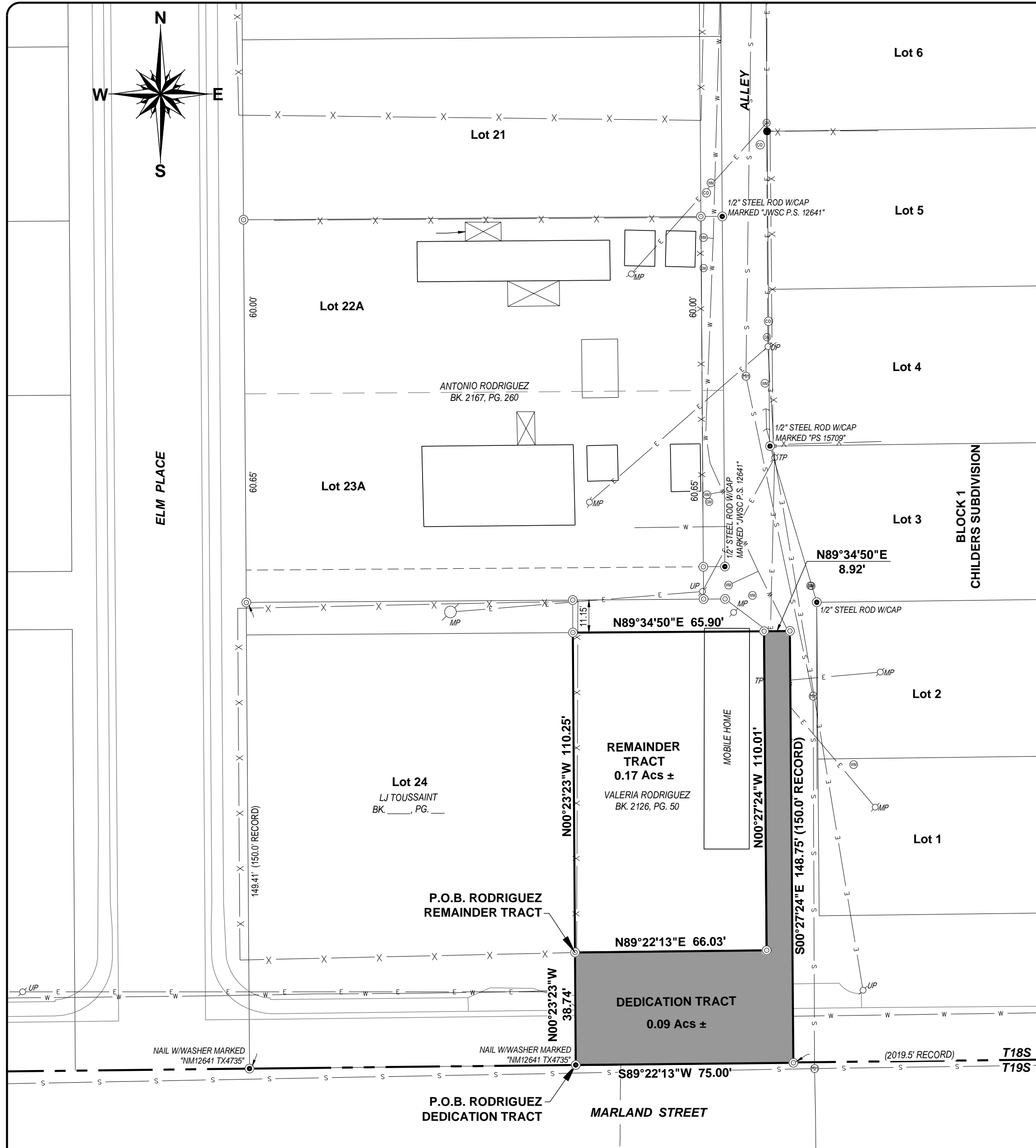
I, GARY G. EIDSON, NEW MEXICO PROFESSIONAL SURVEYOR No. 12641, DO HEREBY CERTIFY THAT THIS SURVEY PLAT AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WERE PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION; THAT I AM RESPONSIBLE FOR THIS SURVEY; THAT THIS SURVEY MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO; AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

DATE: _____



PROVIDING SURVEYING SERVICES
SINCE 1946
JOHN WEST SURVEYING COMPANY
412 N. DAL PASO HOBBS, N.M. 88240
(575) 393-3117 www.jwsc.biz
TBPLS# 10021000

PRELIMINARY - AUGUST 29, 2021



**DEDICATION OF A TRACT LOCATED IN THE SOUTHWEST QUARTER OF THE
SOUTHEAST QUARTER OF SECTION 35, TOWNSHIP 18 SOUTH, RANGE 38 EAST,
N.M.P.M., CITY OF HOBBS, LEA COUNTY, NEW MEXICO**

DESCRIPTION OF A PORTION OF TRACT DEDICATED TO THE PUBLIC:

A TRACT OF LAND DEDICATED FOR PUBLIC USE OUT OF THAT CERTAIN TRACT OF LAND CONVEYED TO VALERIA RODRIGUEZ IN BOOK 2126, PAGE 50, LEA COUNTY RECORDS, LEA COUNTY, NEW MEXICO, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

[illegible]

DESCRIPTION OF REMAINDER TRACT:

A TRACT OF LAND OUT OF THAT CERTAIN TRACT OF LAND CONVEYED TO VALERIA RODRIGUEZ IN BOOK 2126, PAGE 50, LEA COUNTY RECORDS, LEA COUNTY, NEW MEXICO, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

[illegible]

SAID TRACT IS BEING DEDICATED FOR PUBLIC USE AND REPLATTED AS THE SAME APPEARS HEREON WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND PROPRIETOR THEREOF.

VALERIA RODRIGUEZ
(BOOK 2126, PAGE 50)

ACKNOWLEDGMENT:

STATE OF NEW MEXICO
COUNTY OF LEA

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2021 A.D., BY VALERIA RODRIGUEZ.

NOTARY PUBLIC

CERTIFICATE OF MUNICIPAL APPROVAL:

I, KEVIN ROBINSON, DEVELOPMENT DIRECTOR FOR THE CITY OF HOBBS, LEA COUNTY, NEW MEXICO, DO HEREBY CERTIFY THAT THE FOREGOING PLAT IN THE CITY OF HOBBS, LEA COUNTY, NEW MEXICO, WAS REVIEWED AND DEEMED COMPLIANT WITH THE MUNICIPAL SUMMARY PROCESS REGULATIONS ON THIS _____ DAY OF _____, 2021 A.D.

KEVIN ROBINSON, DEVELOPMENT DIRECTOR

ATTEST: _____
JAN FLETCHER, CITY CLERK










ACKNOWLEDGMENT:

STATE OF NEW MEXICO
COUNTY OF LEA

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2021 A.D., BY KEVIN ROBINSON AND JAN FLETCHER.

NOTARY PUBLIC

LEGEND:

-  - DENOTES SET CORNER 1/2" STEEL ROD W/CAP MARKED "JWSC PS12641", UNLESS NOTED OTHERWISE
 - DENOTES FOUND CORNER, AS NOTED
 - DENOTES GAS METER
 - DENOTES SEWER LINE W/MANHOLE
 - DENOTES SEWER LINE CLEANOUT
 - DENOTES WATER LINE W/METER
 - DENOTES ELECTRIC LINE W/POLE AS NOTED
 - DENOTES GUY/ANCHOR WIRE
 - DENOTES FENCE LINE

NOTE

1) BEARINGS SHOWN HEREON ARE MERCATOR GRID AND CONFORM TO THE NEW MEXICO COORDINATE SYSTEM "NEW MEXICO EAST ZONE" NORTH AMERICAN DATUM 1983. DISTANCES ARE SURFACE VALUES.

2) ADJACENT OWNERSHIP OBTAINED FROM LEA COUNTY ASSESSOR'S OFFICE.

3) DATE OF SURVEY: SEPTEMBER 15, 2021.

SURVEYOR'S CERTIFICATE:

I, GARY G. EIDSON, NEW MEXICO PROFESSIONAL SURVEYOR No. 12641, DO HEREBY CERTIFY THAT THIS SURVEY PLAT AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WERE PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION; THAT I AM RESPONSIBLE FOR THIS SURVEY; THAT THIS SURVEY MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO; AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

DATE: _____



PROVIDING SURVEYING SERVICES
SINCE 1946

JOHN WEST SURVEYING COMPANY

412 N. DAL PASO HOBBS, N.M. 88240
(575) 393-3117 www.jwsc.biz
TBPLS# 10021000



Scale: One Inch = Two-Hundred Feet
CAD Drafter & Date: DSS - 06/14/2021
JWSC W.O. No.: 20.11.0026
JWSC File No.: D - 1410B

STATE OF NEW MEXICO
COUNTY OF LEA ~ FILED:

September 21, 2021
Planning Board Regular Meeting

- 9) **Review and Consider Encroachment Agreement for property located at 4511 Business Park Boulevard as requested by Dixie Electric LLC, property owner.**

ENCROACHMENT AGREEMENT

THIS ENCROACHMENT AGREEMENT (hereinafter "Agreement"), entered into this ____ day of October, 2021, between Dixie Electric LLC, 4511 Business Park Blvd., Hobbs, New Mexico 88240, (hereinafter "Owner") and the City of Hobbs, New Mexico, a New Mexico Municipal Corporation (hereinafter "City").

RECITALS:

WHEREAS, Owner is the owner of certain real property located at 4511 Business Park Boulevard in Hobbs, NM; and

WHEREAS, the parties recognize that certain structures have been constructed upon the above described property, which may encroach into the dedicated public easements and the required setbacks.

NOW, THEREFORE, in consideration of the following covenants, premises, and other considerations, the parties agree as follows;

1. The City agrees to allow the encroachment of the aforementioned structures, at the location further described in Exhibit A attached hereto, on the dedicated public easements and the required setbacks, and approve the Encroachment Easement, Exhibit B attached hereto, provided the Owner complies with the terms of this Agreement.
2. City Use of City's Property and City Liability: The City has the right to enter upon the City's Property at any time and perform whatever maintenance, inspection, repair, modification or reconstruction it deems appropriate without liability to the Owner.
3. Owner's Responsibility for Structures: The Owner will be solely responsible for maintenance of the Structures as deemed necessary either by the Owner or the City. The Owner will be responsible for paying all related costs of said maintenance. The Owner agrees to not permit the structures to become or constitute a hazard to the public health or safety, and to keep the structures properly maintained. Owner further agrees not to interfere with the City's use of the City's Property, and to comply with all applicable laws, ordinances and regulations. Owner agrees that no addition or extension to the structures will be constructed.
4. Removal or Relocation of Structures: At some time in the future, the City may require the structures to be removed or relocated from the dedicated public easements and/or the required setback. Such relocation would occur at such time that the municipal infrastructure within the easement is required to be reconstructed or widened, as deemed necessary by the City to insure proper and efficient maintenance thereof; or for utility improvements deemed necessary by the City.

5. Financial Responsibility for Removal and Relocation: If and when the structures are required to be relocated in the future, financial responsibility for removal and relocation of the structures will be the sole responsibility of the Owner.

6. Condemnation of Structures: If Owner allows or permits the Structure to become deteriorated or to become a threat to the public health, safety and welfare, the City may institute condemnation proceedings to remove Owners Property from the dedicated public easements and the required setbacks. If any part of the Owner's structures are ever condemned by the City, the Owner will forego all claims to compensation for any portion of Owner's structures which encroaches on the dedicated public easements and the required setbacks.

7. Notice: For purposes of giving formal written notice to the Owner, Owner's address shall be the address of record for ownership of property, as listed in the official records of the County Clerk's Office for Lea County, New Mexico. Notice may be given to the Owner either in person or by mailing the notice by certified, return receipt U.S. mail, postage paid. Notice will be considered to have been received by the Owner, when the return receipt mail card is received by the City.

8. Indemnification: The Owner covenant and agree that they will indemnify and save the City harmless from any and all liability, damage, expense, cause of action, suits, claims or judgments arising from injury to person or death or damage to property on or off the premises, arising or resulting from Owner's actions, usage and structure located on the dedicated public easements and the required setbacks. The indemnification required hereunder shall not be limited as a result of the specifications of any applicable insurance coverage. Nothing herein is intended to impair any right or immunity under the laws of the State of New Mexico.

9. Term: This Agreement may be terminated by removal of the structures from the dedicated public easements and the required setbacks. Termination by either party shall be effective ninety (90) days after mailing by a party of written notice of termination to the other party.

10. Binding on Owner's Property: The obligations of the Owner set forth herein shall be binding upon the Owner, his/her heirs, assigns, purchasers and successors and on Owner's Property, and constitute covenants running with Owner's Property until released by the City.

11. Entire Agreement: This Agreement contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.

12. Changes to Agreement: Changes to this Agreement are not binding unless made in writing and signed by both parties.

13. Construction and Severability: If any part of this Agreement is held to be invalid or unenforceable, the remainder of the Agreement will remain valid and enforceable if the remainder is reasonably capable of completion.

14. Extent of Agreement: Owner understands and agrees that the Owner is solely responsible for ascertaining whether Owner's structures encroaches upon the property or facilities of any other entity and that by entering into this Agreement, the City makes no representations or warranties that the City's property is the only property affected by the encroachment.

15. Attorney's Fees and Costs: In the event this matter is litigated the Court shall award reasonable attorney fees to the prevailing party, notwithstanding in-house counsel represent a party.

16. Choice of Law and Venue: This Agreement shall be governed by the laws of the State of New Mexico. Jurisdiction and venue relating to any litigation or dispute arising out of this Agreement shall be in the District Court of Lea County, New Mexico, only. If any part of this contract shall be deemed in violation of the laws or Constitution of New Mexico, only such part thereof shall be thereby invalidated, and all other parts hereof shall remain valid and enforceable.

Done and approved on the date first written above.

THE CITY OF HOBBS

Owner

Mayor Sam D. Cobb

ATTEST:

APPROVED AS TO FORM:

Jan Fletcher, City Clerk

Efren Cortez, City Attorney

STATE OF NEW MEXICO)
 (SS.
COUNTY OF LEA)

The foregoing was acknowledged before me this ____ day of _____, 2021 by _____, as owner of _____, to me personally known, who being by me duly sworn did say that he/she is the recorded owner of the property, and _____ acknowledged said instrument, and acknowledged that he executed the same as his free act and deed.

In Testimony Whereof, I have hereunto set my hand and affixed my official seal in the County and State aforesaid and year first written above.

Notary Public

My Commission Expires:

1 TITLE DESCRIPTION

THE LAND REFERRED TO HEREON IS SITUATED IN THE CITY OF HOBBS, COUNTY OF LEA, STATE OF NEW MEXICO AND IS DESCRIBED AS FOLLOWS:

FOR SURFACE TITLE ONLY: A TRACT OF LAND LOCATED IN THE SOUTH HALF OF THE NORTHWEST QUARTER (S/2NW/4) OF SECTION 7, TOWNSHIP 18 SOUTH, RANGE 38 EAST, N.M.P.M., LEA COUNTY, NEW MEXICO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A POINT, A SET 5/8" REBAR WITH ALUMINUM CAP MARKED "WM HICKS NMPS 12348", FROM WHENCE THE QUARTER CORNER COMMON TO SECTIONS 7 AND 12, A FOUND BRASS CAP, BEARS S62°00'37"W, A DISTANCE OF 344.47 FEET; THENCE N49°47'57"E, A DISTANCE OF 850.05 FEET ALONG THE SOUTHEASTERLY LINE OF THE HIAP ENTRANCE ROAD RIGHT-OF-WAY TO A SET 5/8" REBAR WITH ALUMINUM CAP MARKED "WM HICKS NMPS 12348"; THENCE ALONG A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 89°58'51", A RADIUS OF 60.00 AND A CHORD WHICH BEARS S85°12'11"E, 84.84 FEET A DISTANCE OF 94.23 FEET TO A SET 5/8" REBAR WITH ALUMINUM CAP MARKED "WM HICKS NMPS 12348"; THENCE S40°12'20"E, A DISTANCE OF 142.94 FEET ALONG THE NORTHEASTERLY LINE OF THE HEREIN DESCRIBED TRACT TO A SET 5/8" REBAR WITH ALUMINUM CAP MARKED "WM HICKS NMPS 12348"; THENCE S00°45'47"E, A DISTANCE OF 425.03 FEET ALONG THE EASTERLY LINE OF THE HEREIN DESCRIBED TRACT TO A SET 5/8" REBAR WITH ALUMINUM CAP MARKED "WM HICKS NMPS 12348"; THENCE S89°30'22"W, A DISTANCE OF 831.46 FEET ALONG THE SOUTHERLY LINE OF THE HEREIN DESCRIBED TRACT TO THE POINT OF BEGINNING.

The land shown in this survey is the same as that as that described in First American Title Insurance Company, Commitment #FAM16-2131, Dated February 7, 2017.

2 TITLE INFORMATION

The Title Description and Schedule B items hereon are from First American Title Insurance Company, Commitment No. FAM16-2131, Dated February 7, 2017.

3 SCHEDULE 'B' ITEMS

NOTES CORRESPONDING TO SCHEDULE "B":

- RESTRICTIONS APPEARING OF RECORD IN **BOOK 279, PAGE 422**, DEED RECORDS, LEA COUNTY, NEW MEXICO, BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS, OR NATURAL ORIGIN TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE 42 USC 3604. **DOES AFFECT - CANNOT BE SHOWN BECAUSE IT IS BLANKET IN NATURE.**
- CONDITIONS, STIPULATIONS, EASEMENTS AND RIGHTS OF WAYS SET FORTH ON THAT CERTAIN PLAT AND DEDICATION DATED ---, FILED 12-24-08, IN **BOOK 1613, PAGE 694**, LEA COUNTY RECORDS, LEA COUNTY, NEW MEXICO. **DOES AFFECT - AS SHOWN.**
- EASEMENT DATED 6-30-09, FILED 12-14-09, IN **BOOK 1659, PAGE 897**, LEA COUNTY RECORDS, LEA COUNTY, NEW MEXICO. EXECUTED BY DIXIE ELECTRIC, INC. TO SOUTHWESTERN PUBLIC SERVICE COMPANY. **DOES AFFECT - AS SHOWN.**
- CONDITIONS, STIPULATIONS, EASEMENTS AND RIGHTS OF WAYS SET FORTH ON THAT CERTAIN SUMMARY REVIEW DATED ---, FILED 5-30-08, IN **BOOK 1583, PAGE 127**, LEA COUNTY RECORDS, LEA COUNTY, NEW MEXICO. **DOES AFFECT - AS SHOWN.**
- PROTECTIVE COVENANTS AND DESIGN STANDARDS FOR THE DIXIE ELECTRIC PROPERTY AS MENTIONED IN THAT CERTAIN SPECIAL WARRANTY DEED DATED 5-23-08, FILED 5-30-08, IN **BOOK 1583, PAGE 131**, LEA COUNTY RECORDS, LEA COUNTY, NEW MEXICO. EXECUTED BY CITY OF HOBBS, NEW MEXICO TO DIXIE ELECTRIC, INC., A TEXAS CORPORATION. **DOES AFFECT - CANNOT BE SHOWN BECAUSE IT IS BLANKET IN NATURE.**
- PROTECTIVE COVENANTS AND DESIGN STANDARDS FOR THE DIXIE ELECTRIC PROPERTY, GENERAL CONDITIONS PART I, AS MENTIONED IN THAT CERTAIN WARRANTY DEED DATED 3-29-10, FILED 4-6-10, IN **BOOK 1673, PAGE 893**, LEA COUNTY RECORDS, LEA COUNTY, NEW MEXICO. **DOES AFFECT - CANNOT BE SHOWN BECAUSE IT IS BLANKET IN NATURE.**

5 FLOOD INFORMATION

By graphic plotting only, this property is located in Zone "X" of the Flood Insurance Rate Map, Community Panel No. 35025C 1165 D, which bears an effective date of December 16, 2008 and is NOT in a special flood hazard area. No field surveying was performed to determine this Zone and an elevation certificate may be needed to verify this determination or apply for a variance from the Federal Emergency Management Agency.

Zone "X" denotes areas outside the 500 year flood plain.

6 CEMETERY

There is no visible evidence of cemeteries on the subject property at the time of survey.

8 ZONING INFORMATION

SITE RESTRICTION
NONE

SETBACKS
Minimum Front Setback - 35'
Minimum Side Setback - 5'
Minimum Rear Setback - NONE

BUILDING HEIGHT
No Requirement

BULK
Minimum Lot Area - No Requirement
Minimum Lot Width - No Requirement
Minimum Lot Depth - No Requirement
Maximum Floor Area Ratio - No Requirement
Maximum Coverage - No Requirement

PARKING SPACES
Minimum Parking - One space per 200 sq. ft. of floor area

First American Commercial Due Diligence
(405)253-2444

4 SURVEYOR CERTIFICATION

To:

First American Title Insurance Company & Commercial Due Diligence Services, Dixie Electric, LLC:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 6(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 13, 14, 16, 20, and 21(a) of Table A thereof.

This Survey is made in accordance with minimum standards for surveying in New Mexico.

Date field work was completed on: 4-5-17

Date of Plat or Map: 4-11-17

(signed)
Timothy S. Martinez
Registration No. 13982

A TRACT OF LAND LOCATED IN THE SOUTH HALF OF
THE NORTHWEST QUARTER (S/2 NW/4) OF SECTION 7,
TOWNSHIP 18 SOUTH, RANGE 38 EAST, N.M.P.M.

CITY OF HOBBS
LEA COUNTY, NEW MEXICO

12 PARKING INFORMATION

19 Standard Spaces
1 Handicap Spaces

20 Total Parking Spaces

Additional gravel parking lot
no striping

13 LAND AREA

269,514.2 square feet or 6.1872 Acres

14 BUILDING AREA

20,020 square feet

15 BUILDING HEIGHT

Height 17.0' or 1 story

7 STATEMENT OF ENCROACHMENTS

- CARPORT** AND PORTABLE STORAGE CONTAINER ENCROACH 13.0' INTO A UTILITY EASEMENT.
- PORTABLE SHEDS ENCROACHES 8.0' INTO A UTILITY EASEMENT
- WOOD SHED** ENCROACHES 12.0' INTO A UTILITY EASEMENT
- CANOPY** ENCROACHES 3.5' INTO A UTILITY EASEMENT
CANOPY ENCROACHES 13.5' INTO THE FRONT SETBACK LINE

11 SURVEYOR'S NOTES

- No observable evidence of earth moving work, building construction or building additions within recent months.
- No observable evidence of changes in street right of way lines completed, and available from the controlling jurisdiction and no observable evidence of recent street or sidewalk construction or repairs.
- Property has physical access to Business Park Boulevard which is a public street.
- All statements within the certification, and other references located elsewhere hereon, related to: utilities, improvements, structures, buildings, party walls, parking, easements, servitudes, and encroachments, are based solely on above ground, visible evidence, unless another source of information is specifically referenced hereon.

10 BASIS OF BEARINGS

The bearing S.62°00'37"W. being the tie to the southwest corner of described parcel in the City of Hobbs, County of Lea, State of New Mexico, was used as the Basis of Bearing for this survey. Said tie, being shown on said map as S.62°00'37"W. - 344.47'.

Key to CDS ALTA Survey

- TITLE DESCRIPTION
- TITLE INFORMATION
- SCHEDULE 'B' ITEMS
- SURVEYOR CERTIFICATION
- FLOOD INFORMATION
- CEMETERY
- POSSIBLE ENCROACHMENTS
- ZONING INFORMATION
- LEGEND
- BASIS OF BEARING
- SURVEYOR'S NOTES
- PARKING INFORMATION
- LAND AREA
- BUILDING AREA
- BUILDING HEIGHT
- VICINITY MAP
- NORTH ARROW / SCALE
- CLIENT INFORMATION BOX
- SURVEY DRAWING
- PROJECT ADDRESS

18 ALTA/NSPS Land Title Survey

This survey prepared in accordance with the "2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys" (Effective February 23, 2016)

This Work Coordinated By:
FA Commercial Due Diligence Services Co.

CDS
COMMERCIAL
DUE DILIGENCE SERVICES
3550 W. Robinson Street, Third Floor
Norman, Oklahoma 73072
Office: 405-253-2444
website: www.firstamcds.com
Toll Free: 888.322.7371

| | |
|------------------------------|---------------|
| Drwn By: TM | Date: 4-21-17 |
| Surveyor Ref.No: 17015B1.dwg | Revision: QC |
| Aprvd By: TM | Date: |
| Field Date: April 5, 2017 | Revision: |
| Scale: 1"=50' | Date: |
| | Revision: |

Prepared For:

Client Ref. No:

20 PROJECT ADDRESS

4511 BUSINESS PARK BLVD.
HOBBS, NEW MEXICO

Project Name:
Electric Yard Portfolio
CDS Project Number:
16-12-0047:5

Approved CDS Surveyor

Surveyors Name: Tim Martinez
Address: 1130 La Vega Road
Telephone Number: 505-869-0711
email: tmsurv@aol.com

A TRACT OF LAND LOCATED IN THE SOUTH HALF OF
THE NORTHWEST QUARTER (S/2 NW/4) OF SECTION 7,
TOWNSHIP 18 SOUTH, RANGE 38 EAST, N.M.P.M.
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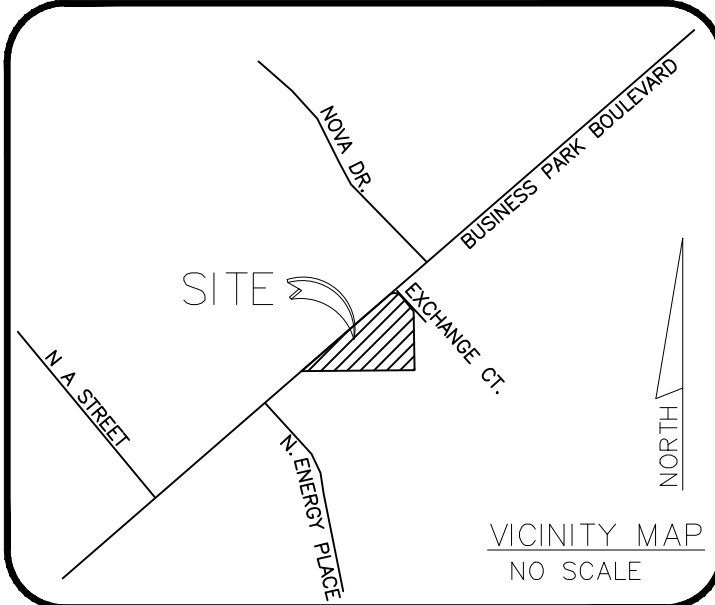
19 SURVEY DRAWING

9 LEGEND

| | | | |
|--|--------------------------------------|--|--------------------------|
| | BUSH | | SET MONUMENT AS NOTED |
| | TREE | | FOUND MONUMENT AS NOTED |
| | CONCRETE | | HANDICAP PARKING |
| | MOTORCYCLE PARKING | | AIR CONDITIONER UNIT |
| | HANDICAP RAMP | | FLAG POLE |
| | MEASURED CALL | | MANHOLE |
| | RECORD CALL | | TELEPHONE BOX |
| | CONCRETE WALL WITH METAL RAILING | | UTILITY POLE |
| | CENTERLINE | | ELECTRIC TRANSFORMER |
| | PROPERTY LINE | | WATER METER |
| | BUILDING SETBACK LINE | | WATER VALVE |
| | EASEMENT LINE | | IRRIGATION CONTROL VALVE |
| | P.O.B. | | FIRE HYDRANT |
| | P.O.C. | | ELECTRIC PANEL |
| | LOCATION OF MEASURED BUILDING HEIGHT | | GAS METER |
| | | | UNDERGROUND ELECTRIC BOX |
| | | | ELECTRIC CONTROL CABINET |
| | | | LIGHT POLE |
| | | | OVERHEAD ELECTRIC LINES |
| | | | STORM DRAIN INLET |
| | | | SEWER CLEAN OUT |

| CURVE | RADIUS | ARC LENGTH | CHORD LENGTH | CHORD BEARING | DELTA ANGLE | TANGENT |
|--------|--------|------------|--------------|---------------|-------------|---------|
| C1 (M) | 60.00' | 94.24' | 84.85' | S85°23'30"E | 89°58'38" | 59.99' |
| C1 (R) | 60.00' | 94.23' | 84.84' | S85°12'11"E | 89°58'51" | |

16 VICINITY MAP



17 NORTH ARROW / SCALE

SCALE : 1" = 50'



Key to CDS ALTA Survey

- TITLE DESCRIPTION
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This Work Coordinated By:
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| | | | |
|-------------|---------------|-----------|---------|
| Drwn By: | TM | Date: | 4-21-17 |
| Surveyor | | Revision: | QC |
| Ref.No: | 17015B2.dwg | Date: | |
| Aprvd By: | TM | Revision: | |
| Field Date: | April 5, 2017 | Date: | |
| Scale: | 1"=50' | Revision: | |

Prepared For:

Client Ref. No:

20 PROJECT ADDRESS

4511 BUSINESS PARK BLVD.
HOBBS, NEW MEXICO

Project Name:

Electric Yard Portfolio

CDS Project Number:

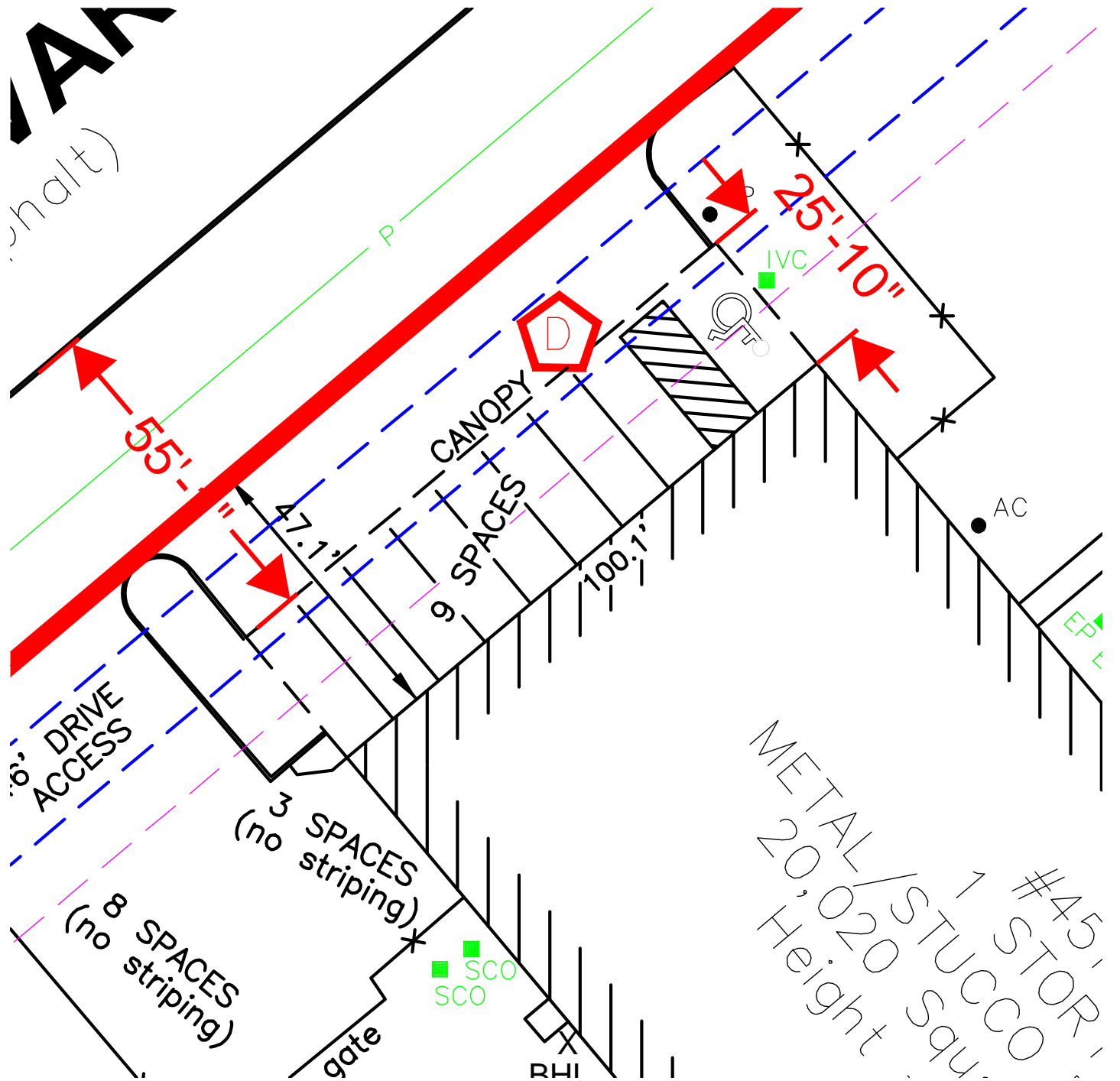
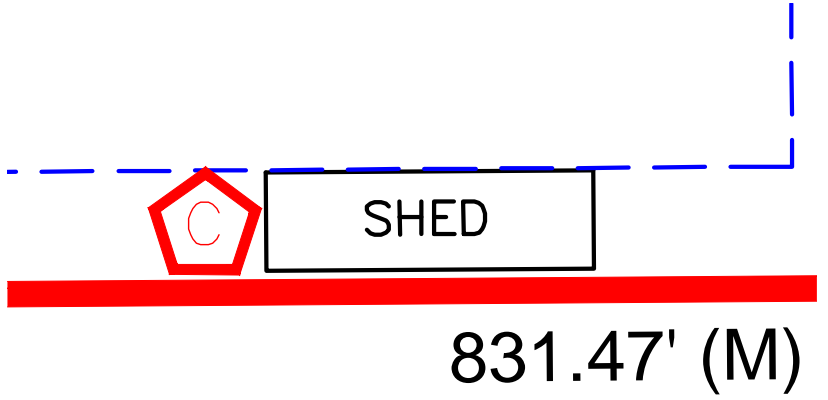
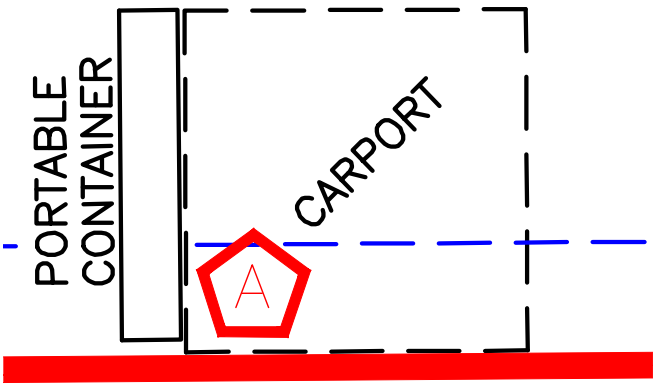
16-12-0047:5

Approved CDS Surveyor

Surveyors Name: Tim Martinez
Address: 1130 La Vega Road
Telephone Number: 505-869-0711
email: tmsurv@aol.com

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Sheet 2 of 2



September 21, 2021
Planning Board Regular Meeting

- 10) Review and Consider Preliminary Plan Approval Zia Crossing Unit 9, as presented by property owner, Black Gold Estates.**

SUBDIVISION PLANS

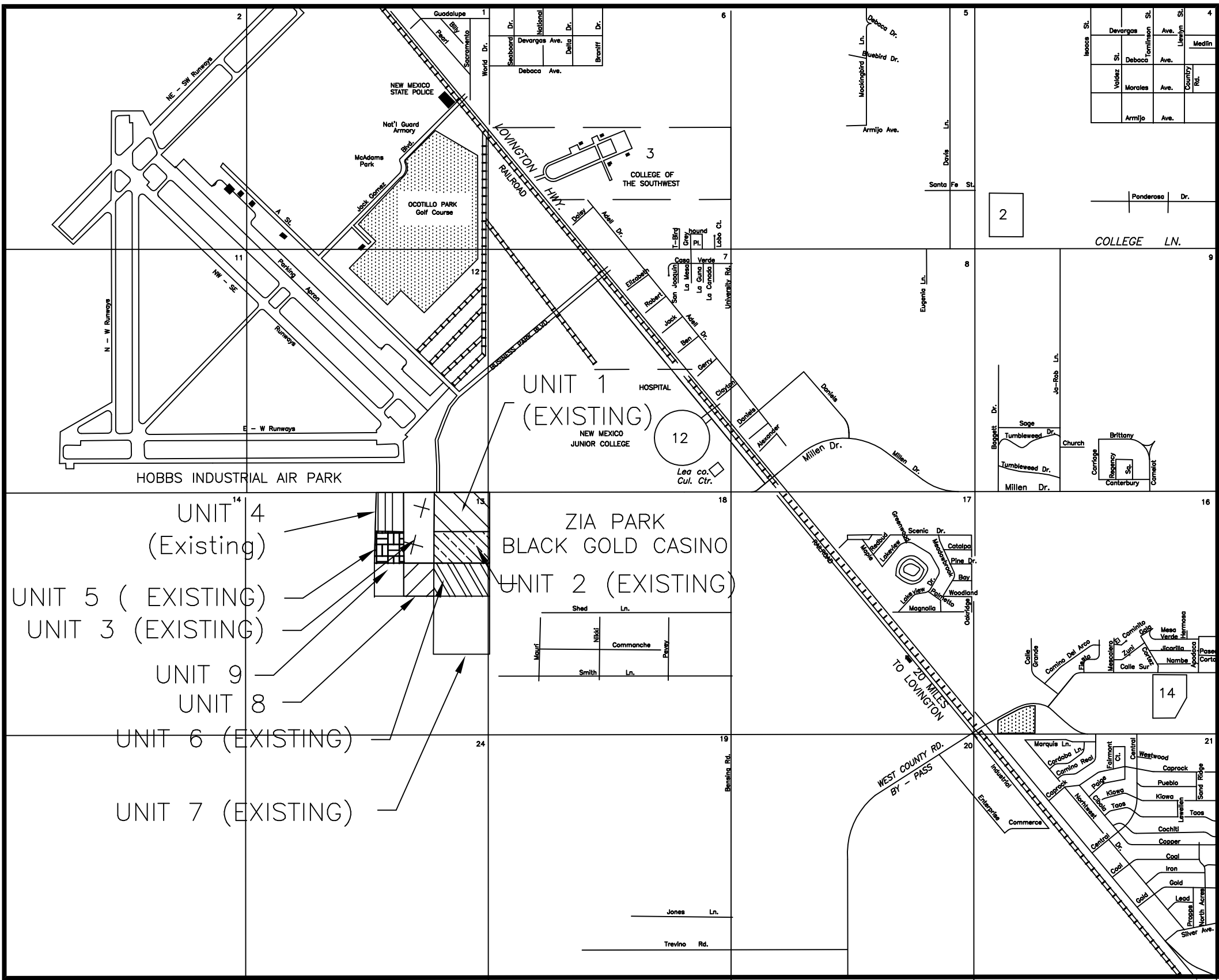
ZIA CROSSING, UNIT 9

CITY OF HOBBS
LEA COUNTY, NEW MEXICO
NE/4 OF SECTION 13, TOWNSHIP 18 SOUTH RANGE 37 EAST

AUGUST, 2021

INDEX OF SHEETS

| SHEET | DESCRIPTION |
|-------|------------------------------------------------------------------------------|
| A1 | COVER SHEET, INDEX OF DRAWINGS & LOCATION MAP |
| A2 | GENERAL NOTES & MATERIALS SPECIFICATIONS |
| A3 | MASTER LAYOUT |
| A4 | PRELIMINARY PLAT PROVIDED BY FOUR CORNERS SURVEYING |
| B1 | HOMESTRETCH PLAN & PROFILE |
| B2 | LONGTAIL PLAN & PROFILE |
| B3 | GRAY GHOST PLAN & PROFILE |
| B4 | KING KELLY PLAN & PROFILE |
| I1 | INTERSECTION DETAILS |
| | |
| W1 | WATER DETAILS |
| R1 | ROADWAY DETAILS |
| S1 | SEWER DETAILS |
| U1 | UNDERGROUND ELECTRIC/TELEPHONE/CABLE TRENCH LAYOUT (Provided by Xcel Energy) |
| U2 | ELEC/TELE/CABLE TRENCH DETAILS & USPS CLUSTER BOX DETAILS |
| | |
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| | |



LOCATION MAP

Not to Scale

SPECIFICATIONS: Street Construction

1. All work shall meet or exceed the applicable requirements of the "New Mexico Standard Specifications for Public Works Construction" 1987 Edition (herein--after abbreviated NMSS), except as otherwise specified herein.
2. Earthwork shall be considered incidental to the street construction unless otherwise indicated in the bid proposal. All roots and other vegetation shall be removed from areas to be covered by asphalt or concrete. The subgrade shall be accurately shaped to lines and grades as indicated on the drawings and compacted as indicated on the details. Minimum compaction in areas not otherwise shown shall be 90% of the maximum density as determined by ASTM D-1557, Method A.
3. All Portland Cement Concrete for pavement shall conform to NMSH&TD Specification-- Section 451 or Section 503, for structures. The contractor shall submit a proposed job mix for the engineer's approval in ample time before placing any concrete.
4. Base course materials and placement shall conform to the requirements of NMSH&TD Specification, Section 304--Base Course. The contractor shall submit an aggregate analysis for the engineer's approval in ample time before placing any base course material.
5. Prime coat material and placement shall conform to the requirements of NMSH&TD Specifications, Section 408--Prime Coat. The contractor shall submit certification of quality for his proposed material for the engineer's approval in ample time before placing any prime coat.
6. Asphaltic concrete surface course material and placement shall conform to the requirements of NMSH&TD Specification, Section 420 OR 422--Plant Mix Bituminous Pavement (Dense Graded or Super Pave). The contractor shall submit a proposed mix design for the engineer's approval in ample time before placing any surface course.
7. The water and sewer contractor shall complete his work, including trench compaction and clean--up, in any one street before the paving contractor starts final subgrade preparation for the street construction. Final adjustment to grade of valve boxes and manhole covers, pouring concrete collars, etc., shall be left for the paving contractor.
8. All construction, including compaction, shall be guaranteed for a period of 12 months after completion of construction.

SPECIFICATIONS -- Water and Sewer Systems

1. All work shall meet or exceed the applicable requirements of the "New Mexico Standard Specifications for Public Works Construction", 1987 Edition (herein--after abbreviated NMSS), except as otherwise specified herein.
2. Manufacturer's brochure cuts, and certificates of quality where applicable, shall be submitted for the engineer's approval for all items installed on the job.
3. Water mains shall be PVC Water Pressure Pipe, Class 150, DR 18, C--900 water pipe as specified in NMSS Section 121, joints may be either mechanical or push--on type except where otherwise specifically indicated, or shall be Polyethylene Water Pressure Pipe, DR 17 as specified by AWWA C--906.
4. The use of tapping sleeves for connection to existing mains or repair sleeves will not be permitted except with the express permission of the engineer for each instance.
5. Water service lines shall be 1" diameter, polyethylene tubing and accessories shall conform with NMSS Section 560.2 -- Water Service Pipe.
6. All sections of new water mains shall be hydrostatically tested in accordance with AWWA C--600, Sec. 13, in the presence of the engineer and a city representative. The contractor shall furnish all equipment and labor required to make the tests. The mains shall be tested with the service connections complete in place. The leakage shall not exceed the calculated allowable leakage as specified in test sheet 801.16.2 in NMSS Section 801. The contractor shall locate and repair all leaks until there are no visible leaks and the overall leakage is within the specified maximum.
7. Sanitary sewer pipe shall be Polyvinyl Chloride (PVC) pipe, DR 35, as specified in the NMSS Section 121.
8. Manholes shall be constructed with precast reinforced concrete sections conforming to ASTM C--478. Block manholes are expressly prohibited. All portland cement concrete and mortar used in manhole construction shall utilize Type II cement. Care shall be taken to properly finish manhole inverts.
9. The water and sewer contractor shall complete his work, including trench compaction and clean--up, in any one street before the paving contractor starts final subgrade preparation for the street construction. Final adjustment to grade of valve boxes and manhole covers, pouring concrete collars, etc., shall be left for the paving contractor.
10. All watermains shall be chlorinated as specified in NMSS Section 801.17. Each service connection shall be operated to thoroughly flush the lines on completion.
11. All construction, including compaction, shall be guaranteed for a period of 12 months after completion of construction.
12. All service line connections for water and sewer shall be made with fittings specifically for the material used, and as per the manufacturer's installation requirements.

NOTES -- Water and Sewer Construction

1. Sewer services shall be located 5 feet ± down--stream from the center of the lot frontage except where otherwise indicated on the plans. Opposing connections shall be spaced at least 4 feet apart along the sewer mains. Water services shall be located 5 feet ± upstream from the common lot lines except where otherwise indicated on the plans, and 10 feet minimum away from the sewer services. Water taps shall be spaced at least 2 feet apart on the water mains.
2. Stationing is as shown on the plan and profile sheets.
3. Water mains shall not be located less than 10 feet away from sewer lines nor closer than 3 feet to the lip of the curb and gutter, except where lines cross.
4. Where a water line passes beneath or less than 18 inches above a sewer line, the sewer line shall be encased in concrete 6 inches thick as shown in the "Standard Details" for at least 10 feet on each side of the water line, or the sewer line shall be Ductile or Cast Iron Pipe with pressure--type joints for 10 feet on each side of the water line. This shall also apply where a parallel water line is less than 10 feet horizontally and less than 2 feet above the sewer.

GENERAL NOTES:

1. Testing of construction materials, including subgrade compaction, shall be performed as required by the engineer and at the expense of the owner, except that the contractor shall pay for any re--testing required. The contractor shall cooperate in allowing opportunity for testing and furnishing samples and job site assistance as required. The contractor shall furnish manufacturer's certificates of quality as required.
2. The contractor shall maintain a reasonably clean job site throughout the construction period and at completion shall remove all debris and dress up all areas disturbed by his operations.
3. Measurement and payment of the various items of construction shall be made by the units indicated in the bid proposal and at the unit prices bid, work and materials not specifically called out in the bid proposal shall be considered incidental to the nearest associated item listed in the proposal.
4. The contractor shall do his own layout and construction staking from bench marks and and centerline reference points furnished by the owner. The contractor shall be responsible for properly referencing all triangulation stations, bench marks, monuments, and grant markers, section corners, or other permanent reference marker, that may be destroyed during the construction of this project. The Project Manager, at the contractor's expense, shall reference and reset destroyed monuments according to government regulations and state law. Design survey for Owner provided by John West Surveying Company.
5. Haul shall be considered incidental to construction, and no direct payment shall be made.
6. For estimating purposes only, earthwork quantities are based on a shrinkage factor of 0% in roadway embankment and 0% swell in roadway excavation.
7. No underground utilities (water or sewer) shall be backfilled prior to inspection and approval by the ENGINEER. Any backfill placed prior to inspection and approval will be removed at the contractor's expense.
8. Locations of all existing utilities shown were taken from record drawings or field surveys and are located as accurately as possible from information available. It will be the contractor's responsibility to protect, maintain in service, and at points required, verify exact locations of these utilities during construction operations of this project.
9. The contractor shall never unnecessarily interfere with or interrupt the services of any public utility having property within or adjacent to the construction area. He shall give all public utility companies a reasonable notice in writing, in no event less than 48 hours, for any work that he contemplates would interfere in any what whatsoever with the service of any existing public utility and city--owned facility.
10. When construction under this project connects to existing improvements the contractor shall build an easy--riding connection.
11. When abutting new pavement to edges of existing pavement, the existing pavement shall be cut a straight neat edge and tack coat shall be applied to edges of existing pavement prior to beginning of new pavement operations.
12. The Contractor shall coordinate any work required by others in the construction area with the construction of this project.
13. No underground utilities (water or sewer) shall be backfilled prior to inspection and approval by the CITY OF HOBBS. Any backfill placed prior to inspection and approval will be removed at the contractor's expense.
14. Where proposed elevations in the plans are shown with two digits preceeding the decimal, it shall be assumed that 3600 feet is to be added.
15. All concrete shall contain fiber reinforcement. Fiber reinforcement shall be virgin polypropylene strands approximately 3/4 inches in length, mixed into the concrete at a rate of 1.5 pounds per cubic yard or fibers shall be Anti--Crack HD (AR glass fibers) as manufactured by Saint--Gobain Vetrotex America and mixed into the concrete at a rate of 1.0 pounds per cubic yard (fiber length 3/4 inch). Use of fiber reinforcement does NOT substitute for any structural reinforcement required by teh project drawings and contract documents. No separate measurement or payment will be made for fiber reinforcement, it shall be considered incidental to the item being installed.
16. Construction will not be considered complete until all drainage structures, including new curb and gutter, are tested flowing and found satisfactory by the project manager. Finished concrete grade tolerance shall not deviate from those shown on the plans by more than =/-- 0.002 feet. This shall be considered incidental to the construction of this project.

MATERIAL SPECIFICATION:

Materials and equipment used in the installation of water and sewer improvements shall be in accordance with the City of Hobbs standards and shall be new and unused, manufactured in compliance with standards published by the American Society for Testing and Materials (ASTM), the Americal Water Works Association (AWWA) or other published applicable standards.

Where specific items are called for by name, make, or catalog number such reference shall be interpreted as establishing a standard quality and not construed as limiting competition. The use of substitutes is permissible in most cases, provided written requires and proper certification are submitted to the ENGINEER for review and approval prior to Bid Opening for City of Hobbs approval.

SANITARY SEWER

Collector: PVC, SDR 26 (under 18" Dia.) (Stiffness of 46 for over 18" Dia.), push--on, gasketed (or glued) sewer pipe.

Service: PVC, SCH 40 or SDR 21, push--on, gasketed (or glued) sewer pipe.

Fittings: PVC, SCH 40, push--on, gasketed sewer pipe,

Manholes: Fiberglass (preferred) or Precast reinforced concrete, 4 ft. inside diameter, type "C" Concentric manholes.

Manhole rim and Lid: A. Vented in pavement areas, East Jordan Iron Works #41430120A01 or approved equal. Frame & cover shall be AASHTO H--20 load rated, Ductile Iron castings shall be grade 70--50--05 conforming to ASTM A536 (latest edition), Grey Iron castings shall be CL35 conforming to ASTM A448 (latest edition), frame & cover to be uncoated. (See Details) B. Sealing in drainage swale and bar--dich areas, shall be as required by the City of Hobbs.

Force Mains: HDPE DR 13.4 C--906 (WPR 130 psi) or PVC DR 14 Class 200 C--900 (WPR 145 psi).

POTABLE WATER

Distribution Lines: PVC, DR 18, Class 150, C--900 push--on, gasketed water pipe -- OR -- HDPE, DR 17, C--906 blue or blue stripe.

Fittings: Mechanical joint (MJ), class 250 or 350 S.S.B. type, ductile iron pipe fittings for PVC. Polyethylene fittings may be MJ or fused fittings, ductile iron pipe sizes. All HDPE pipe shall utilize MJ adapters when connection to Ductile Iron Fittings. Mega Lug restrained fittings shall be used along with concrete thrust blocking. Valves may be FL X MJ when connected at fittings.

Gate Valves: Mueller bonded resilient seat, non--raising stem type, mechanical joint, fuse bonded epoxy coated inside and out, 2 inch operating nut, opens counter--clockwise. Valves may be FL x MJ when connected at fittings.

Fire Hydrants: Kennedy Guardian -- K81D Main valve fire hydrant, Exterior painted "chrome yellow" as per NM APWA specs.

Valve Boxes: Tyler 461S, or equal

Water Meter Box -- Regular Meter Box -- East Jordan product number 32234002A04, round 18" x 18" and DFW Plastics Inc. plastic blue cover product number (18AMR--49).



| NO. | DATE | REVISIONS: | | | | BY | CHK | ENGR | APP. |
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ZIA CROSSING, LLC
ZIA CROSSING UNIT 9
GENERAL NOTES AND
MATERIALS SPECIFICATIONS

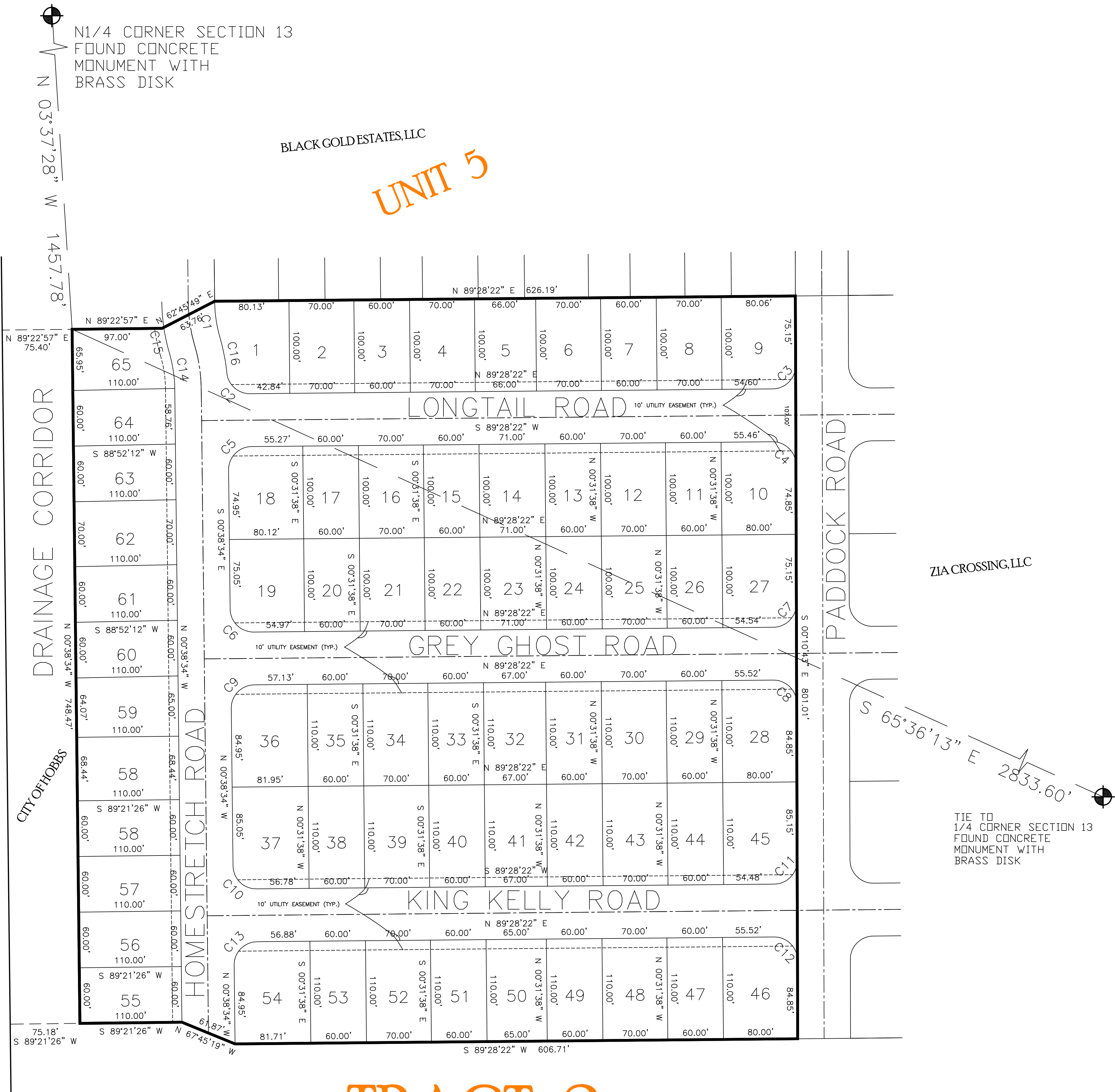
the ROSS GROUP
CONSULTING ENGINEERS
410 N. DAL PASO
HOBBS, NEW MEXICO 88240
(575) 392-7918 TELE.
(575) 392-9114 FAX

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| Drawn By: | Checked by: |
| PLR | PLR |
| Date: | Disk: |
| 8--4--21 | ZIA8 |
| File Name: | Job No.: |
| GEN NOTES | |

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A2
A2 of A4 sheets

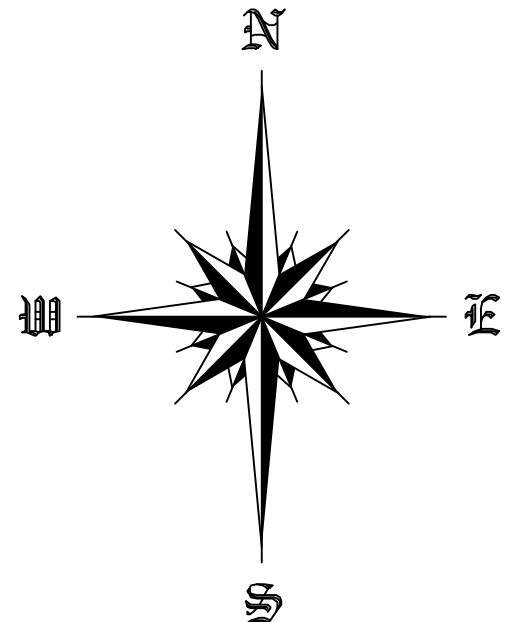
ZIA CROSSING SUBDIVISION TRACT 2, PHASE III, = 65 LOTS

TOTAL ACREAGE = 14.10 AC.



TRACT 2
PHASE III

BLACK GOLD ESTATES, LLC



LEGEND:
THESE STANDARD SYMBOLS MAY BE FOUND IN THE
DRAWING.

POINT AS DESCRIBED HEREON

SUBDIVISION BOUNDARY

CENTERLINE OF ROAD

SET 1/2" REBAR WITH PLASTIC CAP LS8685
AT ALL CORNERS AND BEGINNING AND END
OF CURVES

| CURVE | RADIUS | ARC LENGTH | CHORD LENGTH | CHORD BEARING | DELTA ANGLE |
|-------|---------|------------|--------------|---------------|-------------|
| C1 | 146.50' | 40.33' | 40.20' | S 08°24'50" E | 15°46'23" |
| C2 | 25.00' | 37.06' | 33.76' | S 48°03'20" E | 84°56'36" |
| C3 | 25.00' | 39.12' | 35.25' | N 44°38'49" E | 89°39'05" |
| C4 | 25.00' | 39.42' | 35.46' | N 45°21'11" W | 90°20'55" |
| C5 | 25.00' | 39.32' | 35.39' | S 44°24'54" W | 90°06'56" |
| C6 | 25.00' | 39.22' | 35.32' | S 45°35'06" E | 89°53'04" |
| C7 | 25.00' | 39.12' | 35.25' | N 44°38'49" E | 89°39'05" |
| C8 | 25.00' | 39.42' | 35.46' | S 45°21'11" E | 90°20'55" |
| C9 | 25.00' | 39.32' | 35.39' | N 44°24'54" E | 90°06'56" |
| C10 | 25.00' | 39.22' | 35.32' | N 45°35'06" W | 89°53'04" |
| C11 | 25.00' | 39.12' | 35.25' | S 44°38'49" W | 89°39'05" |
| C12 | 25.00' | 39.42' | 35.46' | S 45°21'11" E | 90°20'55" |
| C13 | 25.00' | 39.32' | 35.39' | N 44°24'54" E | 90°06'56" |
| C14 | 146.50' | 40.03' | 39.91' | N 08°28'18" W | 15°39'27" |
| C15 | 203.50' | 28.21' | 28.19' | N 12°19'44" W | 7°56'34" |
| C16 | 203.50' | 38.06' | 38.01' | S 10°56'32" E | 10°42'59" |

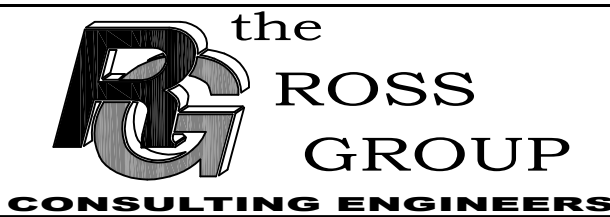
KING KELLY ROAD = 57' ROW
GREY GHOST ROAD = 57' ROW
LONGTAIL ROAD = 57' ROW
PADDOCK ROAD = 57' ROW

| | | |
|---------------------------------------------------------------------------------------|-------------------|------------------------------------------------|
| FOUR CORNERS SURVEYING, INC. 21150 COUNTY ROAD U, CORTEZ, CO 81321 970-882-4241 | | |
| DRAWN RAB | DATE 7/20/2021 | ZIA CROSSING SUBDIVISION TRACT 2, PHASE III |
| APPROVED | DATE | CITY OF HOBBS, NEW MEXICO |
| SCALE 1" = 60' | SHEET 2 OF 2 | PROJECT NO. 925TR2PH3SHT2 |

| NO. | REVISIONS | BY | DATE | DES |
|-----|-----------|----|------|------|
| | | | | DRN |
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| DATE |
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| 6/23/15 |

| SCALE |
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| H: 1" = 50' |
| V: 1" = 5' |



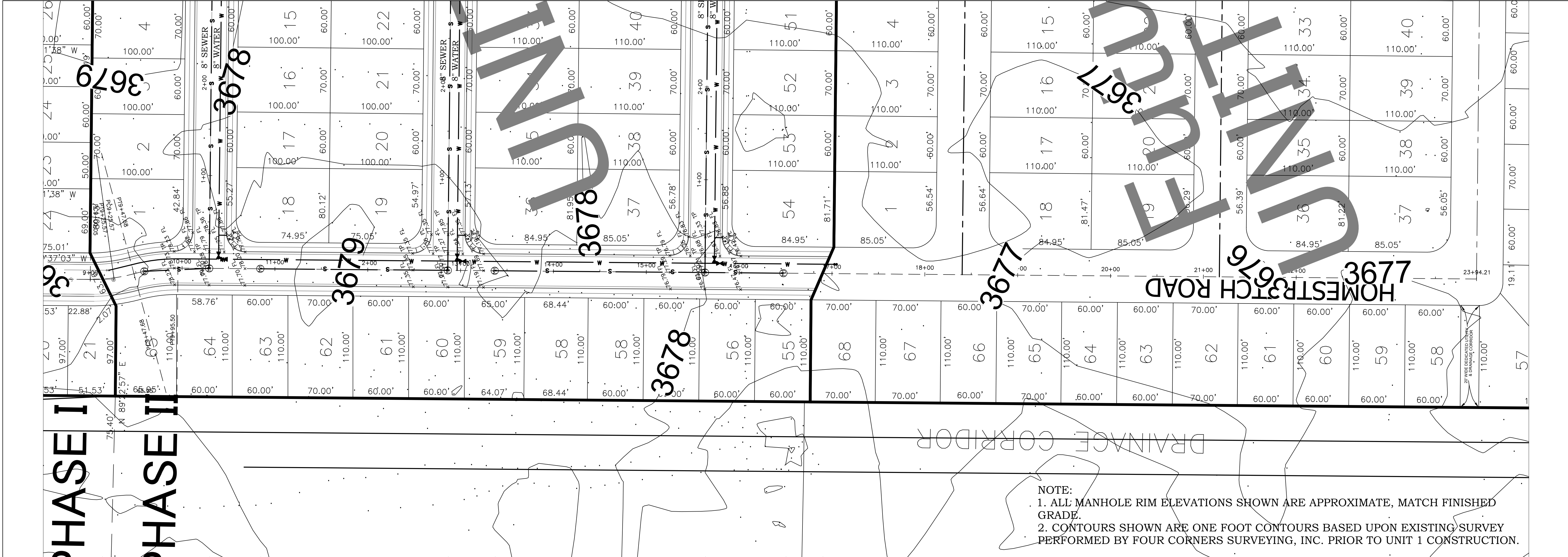
410 N. Dal Paso
Hobbs, New Mexico 88240
Telephone (575) 392-7918
Fax (575) 392-9114

ZIA CROSSING SUBDIVISION
PHASE 2

HOMESTRETCH ROAD PLAN & PROFILE
STA 8+50 TO STA 23+94.21

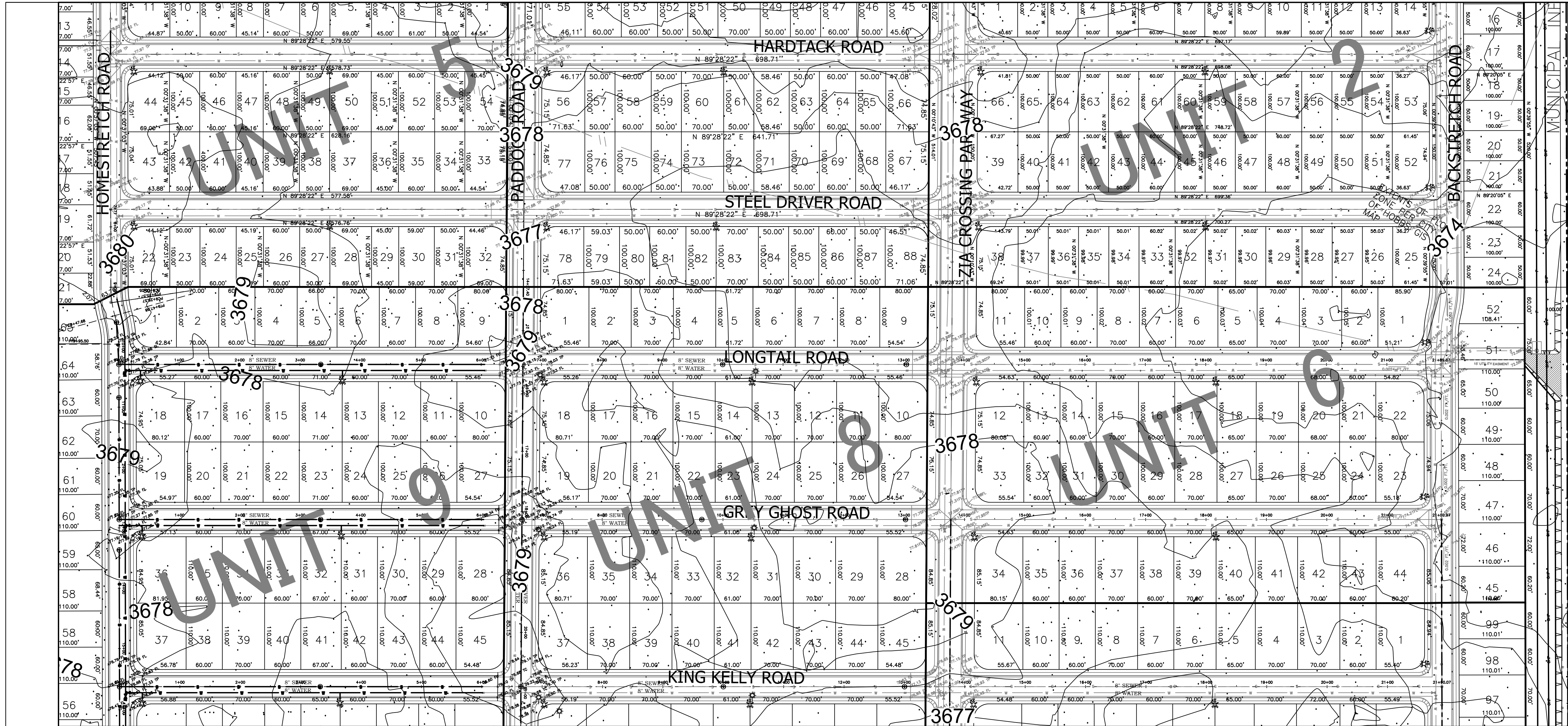
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| 8+50 | 3679.91 EXIST. GRADE AT CENTERLINE CL 79.41, FL 78.91, 8" INV 71.75 | | | 3680 |
| 9+00 | 3679.48 EXIST. GRADE AT CENTERLINE CL 79.51, FL 79.01, 8" INV 71.87 | | | 3675 |
| 9+13.8 | STA 9+13.8 END UNIT 5 CL 79.43, FL 79.03 | | | |
| 9+50 | 3679.13 EXIST. GRADE AT CENTERLINE CL 79.24, FL 78.74 | | | |
| 10+00 | 3679.38 EXIST. GRADE AT CENTERLINE CL 78.51, FL 78.01, 8" INV 73.86 | | | |
| 10+50 | STA 10+29.21 CENTERLINE LONGTAL 3678.23 EXIST. GRADE AT CENTERLINE CL 78.24, FL 77.74 | | | |
| 11+00 | 3678.58 EXIST. GRADE AT CENTERLINE CL 78.14, FL 77.64, 8" INV 73.63 | | | |
| 11+50 | 3679.15 EXIST. GRADE AT CENTERLINE CL 78.04, FL 77.54, 8" INV 73.50 | | | |
| 12+00 | 3678.69 EXIST. GRADE AT CENTERLINE CL 77.94, FL 77.44, 8" INV 73.38 | | | |
| 12+50 | 3678.61 EXIST. GRADE AT CENTERLINE CL 77.84, FL 77.34, 8" INV 73.25 | | | |
| 13+00 | STA 12+86.21 CENTERLINE GREY GHOST 3678.06 EXIST. GRADE AT CENTERLINE CL 77.74, FL 77.24 | | | |
| 13+50 | 3677.97 EXIST. GRADE AT CENTERLINE CL 77.64, FL 77.14, 8" INV 73.09 | | | |
| 14+00 | 3678.24 EXIST. GRADE AT CENTERLINE CL 77.54, FL 77.04, 8" INV 72.82 | | | |
| 14+50 | 3678.44 EXIST. GRADE AT CENTERLINE CL 77.44, FL 76.94, 8" INV 72.55 | | | |
| 15+00 | 3678.70 EXIST. GRADE AT CENTERLINE CL 77.34, FL 75.84, 8" INV 72.28 | | | |
| 15+50 | 3678.17 EXIST. GRADE AT CENTERLINE CL 77.24, FL 76.74, 8" INV 72.01 | | | |
| 16+00 | STA 15+63.21 CENTERLINE KING KELLY 3677.73 EXIST. GRADE AT CENTERLINE CL 76.98, FL 76.48, 8" INV 72.03 | | | |
| 16+50 | 3677.23 EXIST. GRADE AT CENTERLINE CL 76.66, FL 76.16 | | | |
| 17+00 | STA 16+89.74 END UNIT 9 CONST. CL 76.66, FL 75.16 | | | |
| 17+50 | 3677.19 EXIST. GRADE AT CENTERLINE | | | |
| 18+00 | 3677.05 EXIST. GRADE AT CENTERLINE | | | |
| 18+50 | STA 18+40.21 CENTERLINE BIG CY 3677.11 EXIST. GRADE AT CENTERLINE | | | |
| 19+00 | 3676.92 EXIST. GRADE AT CENTERLINE | | | |
| 19+50 | 3676.85 EXIST. GRADE AT CENTERLINE | | | |
| 20+00 | 3676.61 EXIST. GRADE AT CENTERLINE | | | |
| 20+50 | 3676.54 EXIST. GRADE AT CENTERLINE | | | |
| 21+00 | 3676.27 EXIST. GRADE AT CENTERLINE | | | |
| 21+50 | STA 21+17.21 CENTERLINE MIGHTY ATOM 3676.07 EXIST. GRADE AT CENTERLINE | | | |
| 22+00 | 3676.52 EXIST. GRADE AT CENTERLINE | | | |
| 22+50 | 3676.98 EXIST. GRADE AT CENTERLINE | | | |
| 23+00 | 3677.06 EXIST. GRADE AT CENTERLINE | | | |
| 23+50 | 3676.82 EXIST. GRADE AT CENTERLINE | | | |
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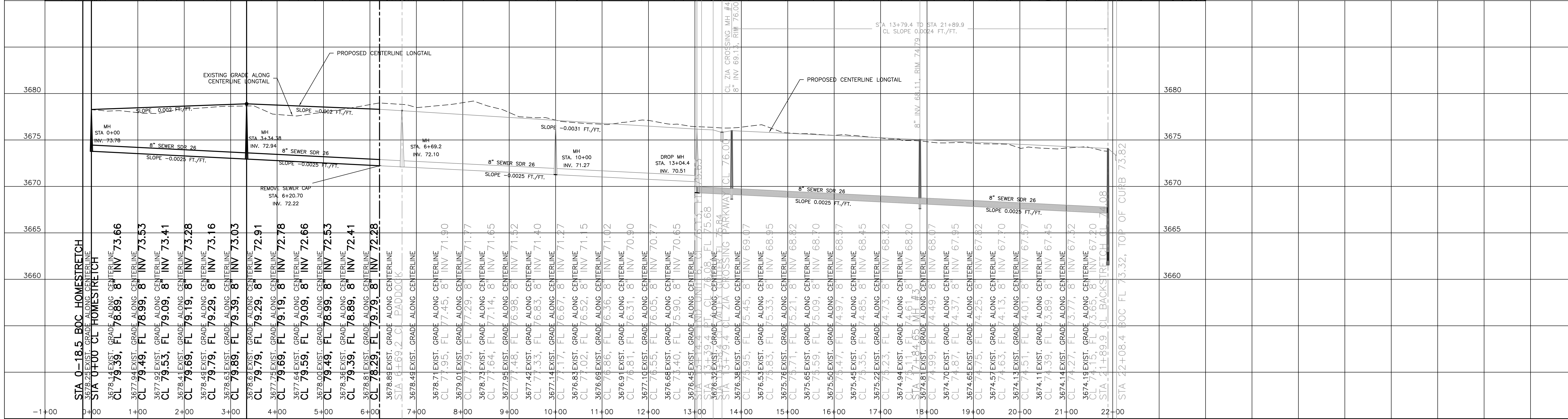


NOTE:
1. ALL MANHOLE RIM ELEVATIONS SHOWN ARE APPROXIMATE, MATCH FINISHED GRADE.
2. CONTOURS SHOWN ARE ONE FOOT CONTOURS BASED UPON EXISTING SURVEY PERFORMED BY FOUR CORNERS SURVEYING, INC. PRIOR TO UNIT 1 CONSTRUCTION.

ORIGINAL DRAWING 24" X 36".



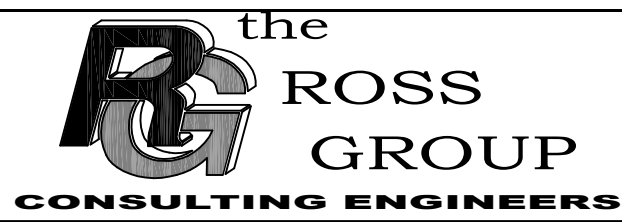
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DATE
6/29/15

SCALE
H: 1" = 100'
V: 1" = 5'



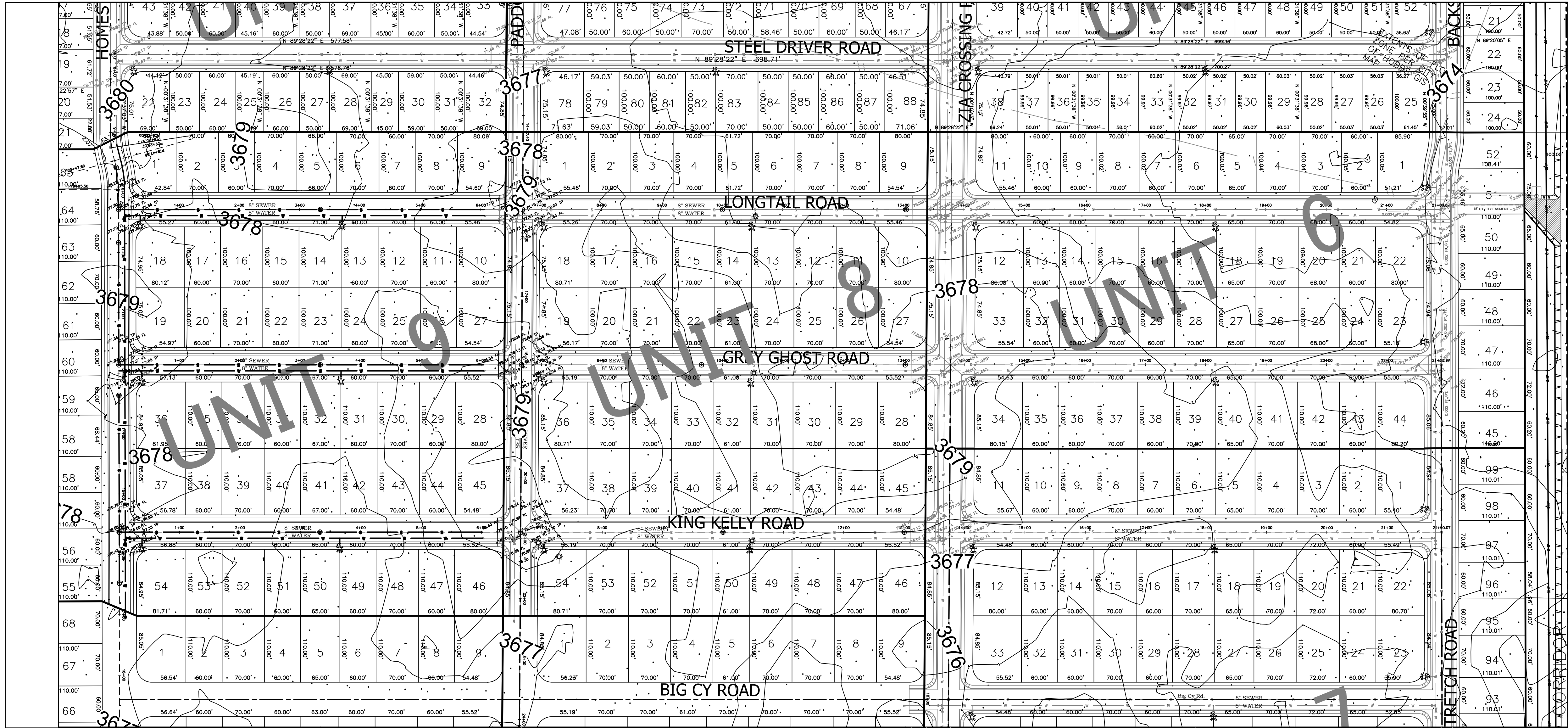
410 N. Dal Paso
Hobbs, New Mexico 88240
Telephone (575) 392-7918
Fax (575) 392-9114

ZIA CROSSING SUBDIVISION
PHASE 2 - UNIT 8

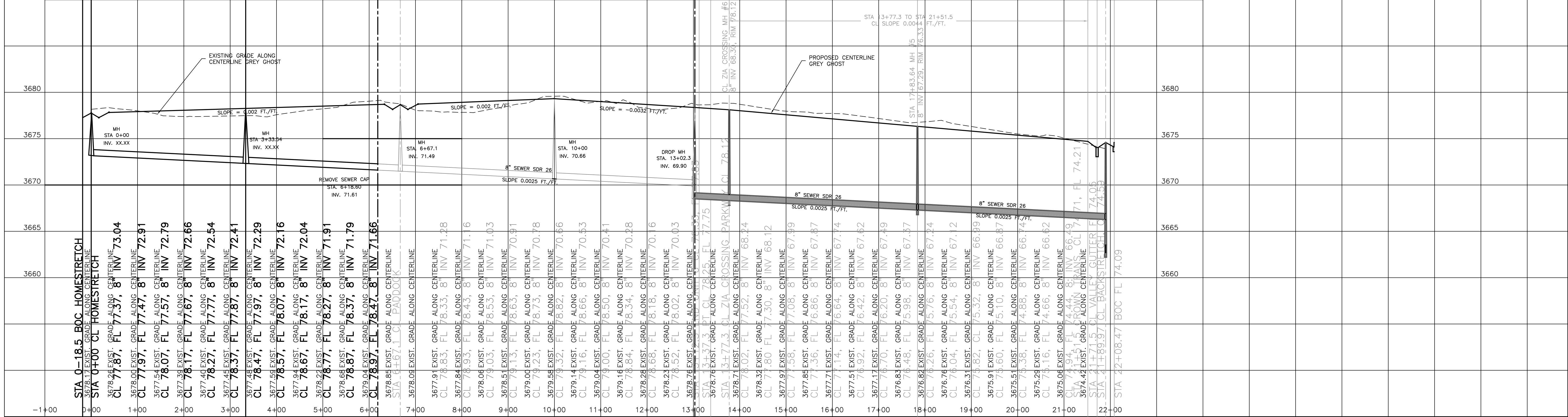
LONGTAIL PLAN & PROFILE
STA 0+00 TO STA 21+89.9

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ORIGINAL DRAWING 24" X 36"

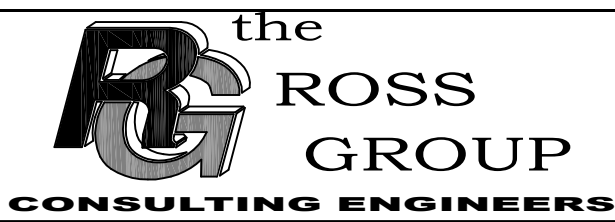


NOTE:
1. ALL MANHOLE RIM ELEVATIONS SHOWN ARE APPROXIMATE, MATCH FINISHED GRADE.
2. CONTOURS SHOWN ARE ONE FOOT CONTOURS BASED UPON EXISTING SURVEY PERFORMED BY FOUR CORNERS SURVEYING, INC. PRIOR TO UNIT 1 CONSTRUCTION.



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| 7/26/2021 | H: 1" = 100' V: 1" = 5' |



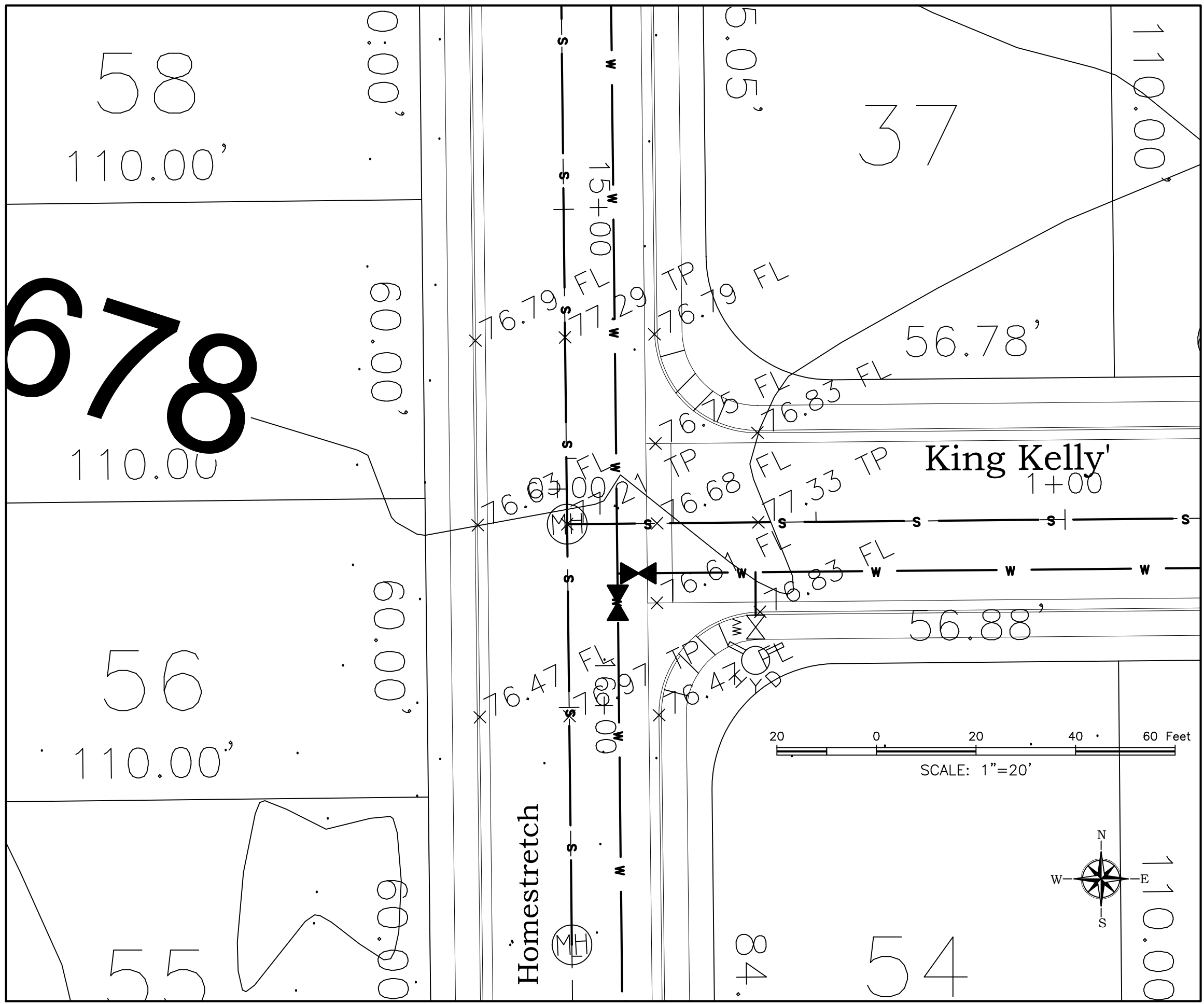
410 N. Dal Paso
Hobbs, New Mexico 88240
Telephone (575) 392-7918
Fax (575) 392-9114

ZIA CROSSING SUBDIVISION
PHASE 2 - UNIT 9

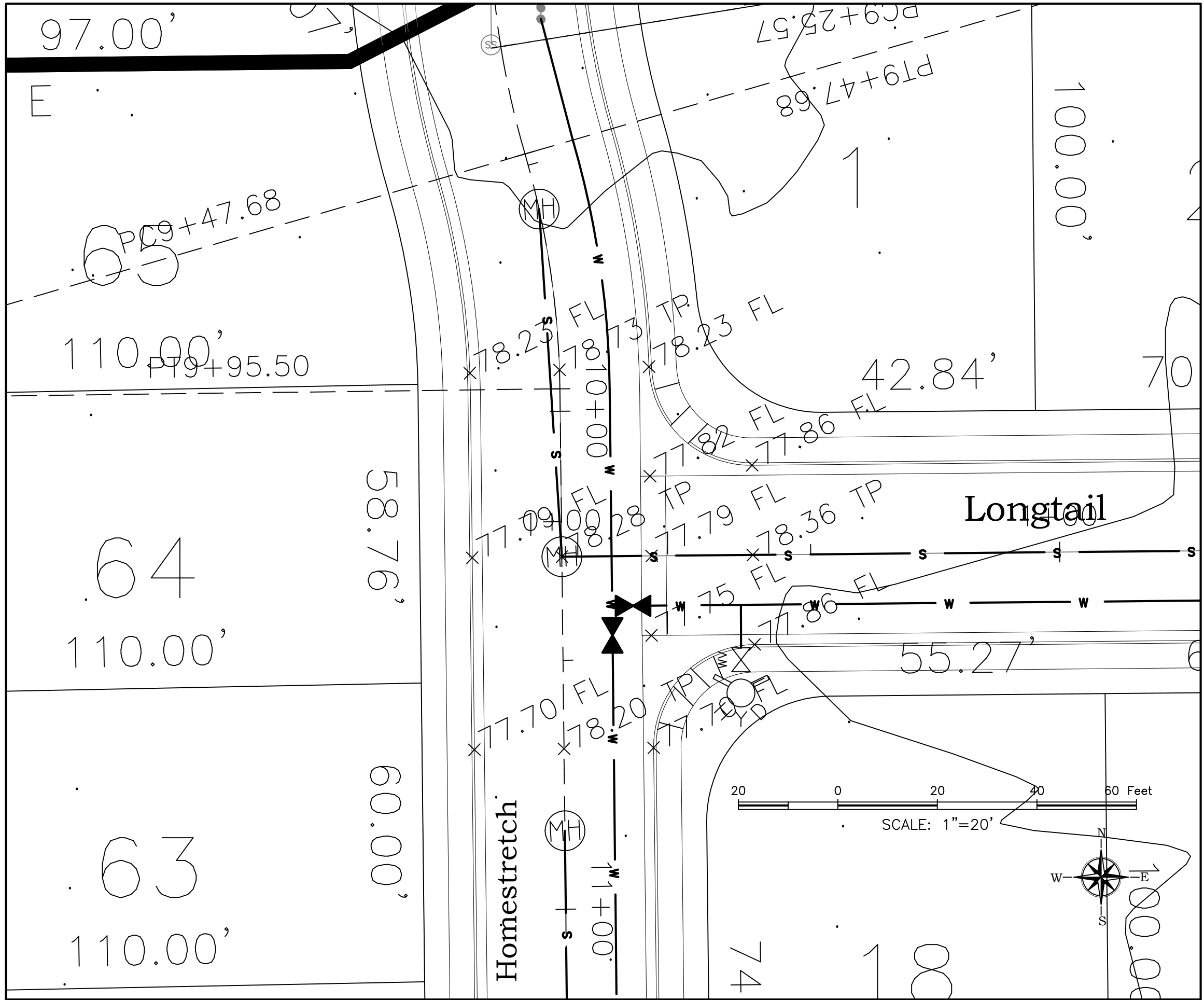
GREY GHOST PLAN & PROFILE
STA 0+00 TO STA 21+89.97

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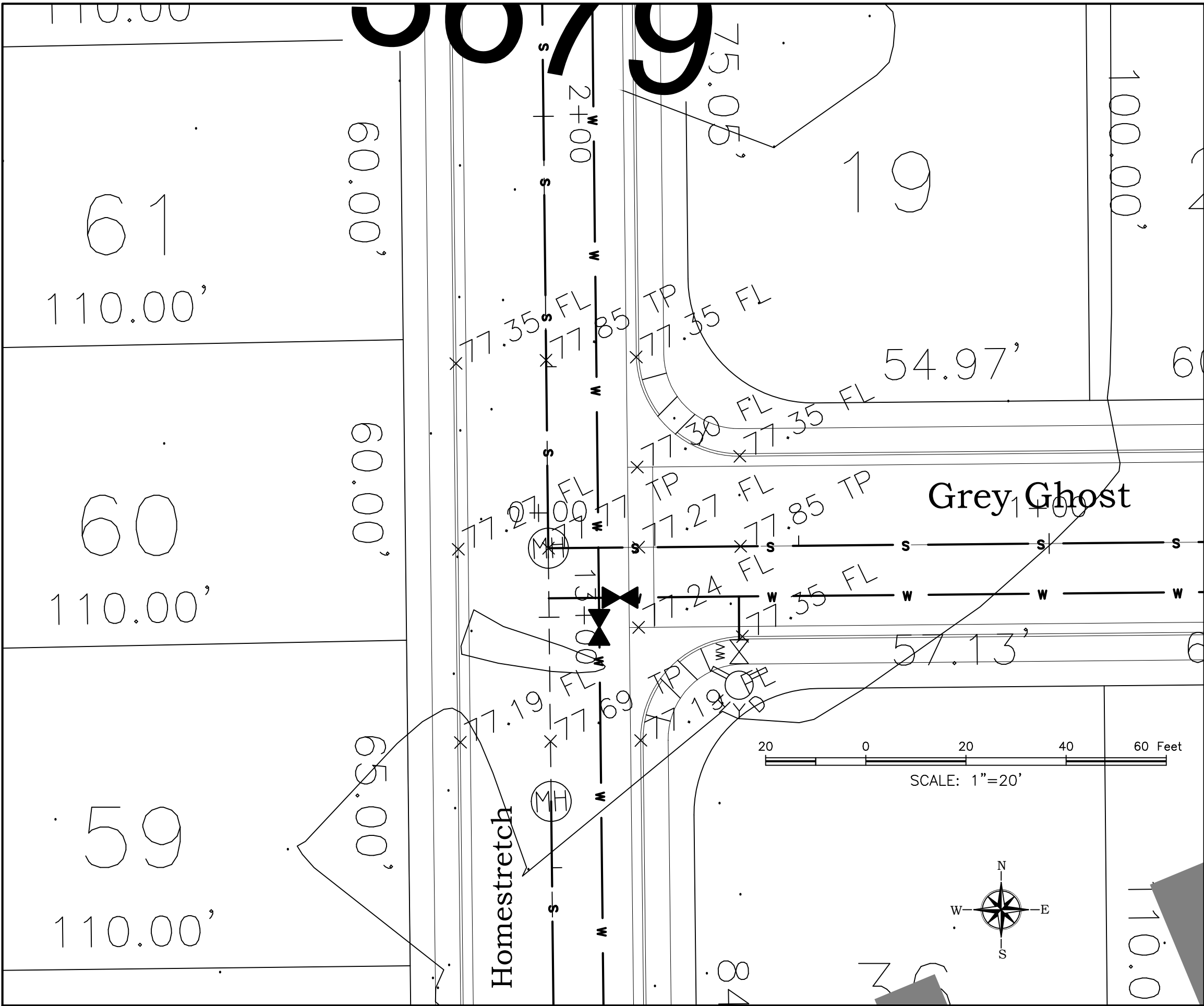
ORIGINAL DRAWING 24" X 36"



HOMESTRETCH & KING KELLY



HOMESTRETCH & LONGTAIL



HOMESTRETCH & GREY GHOST

ORIGINAL DRAWING SIZE 24" X 36"

PRELIMINARY - NOT FOR CONSTRUCTION - UNDER REVIEW

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| SMM | PLR |
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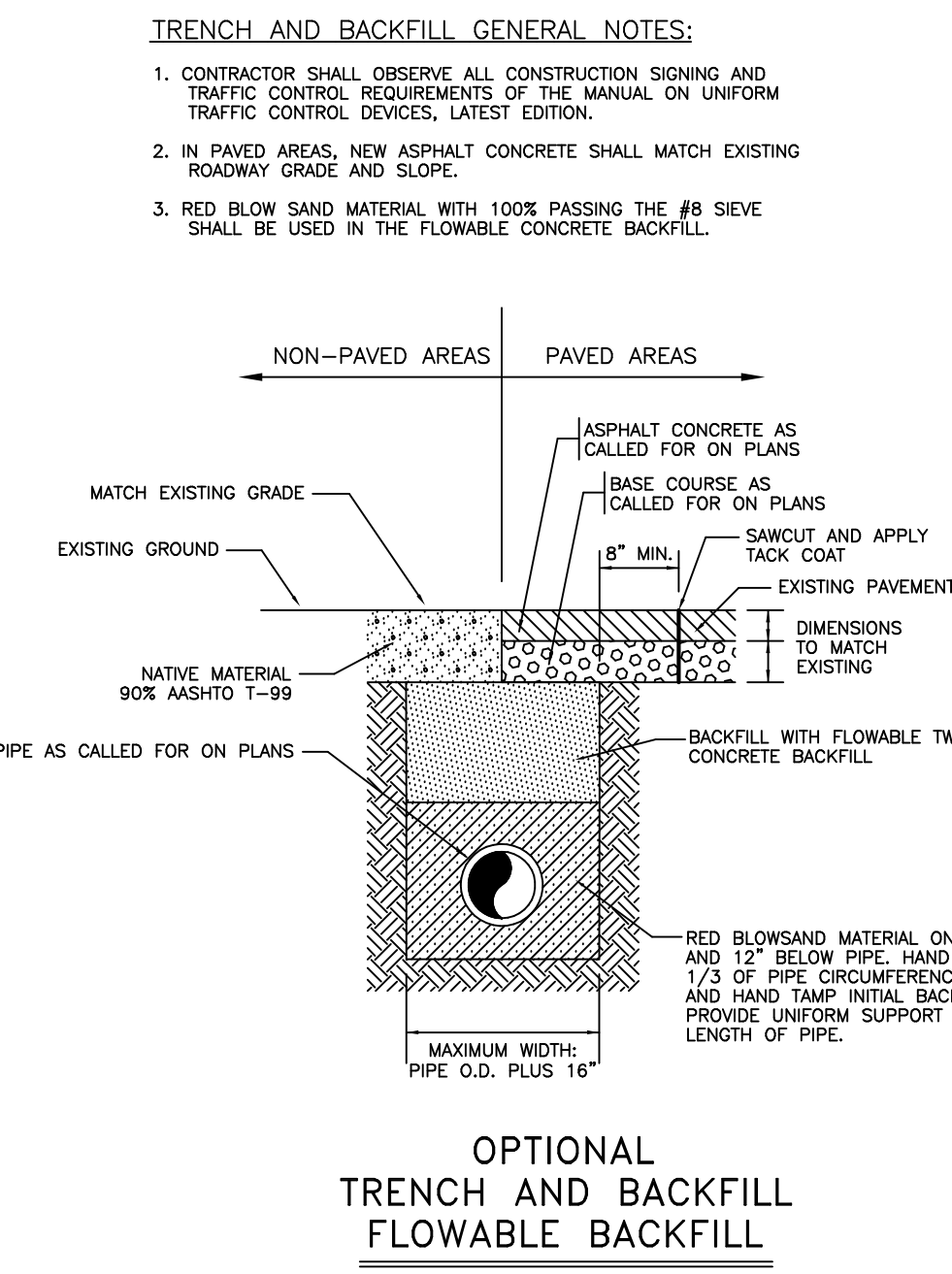
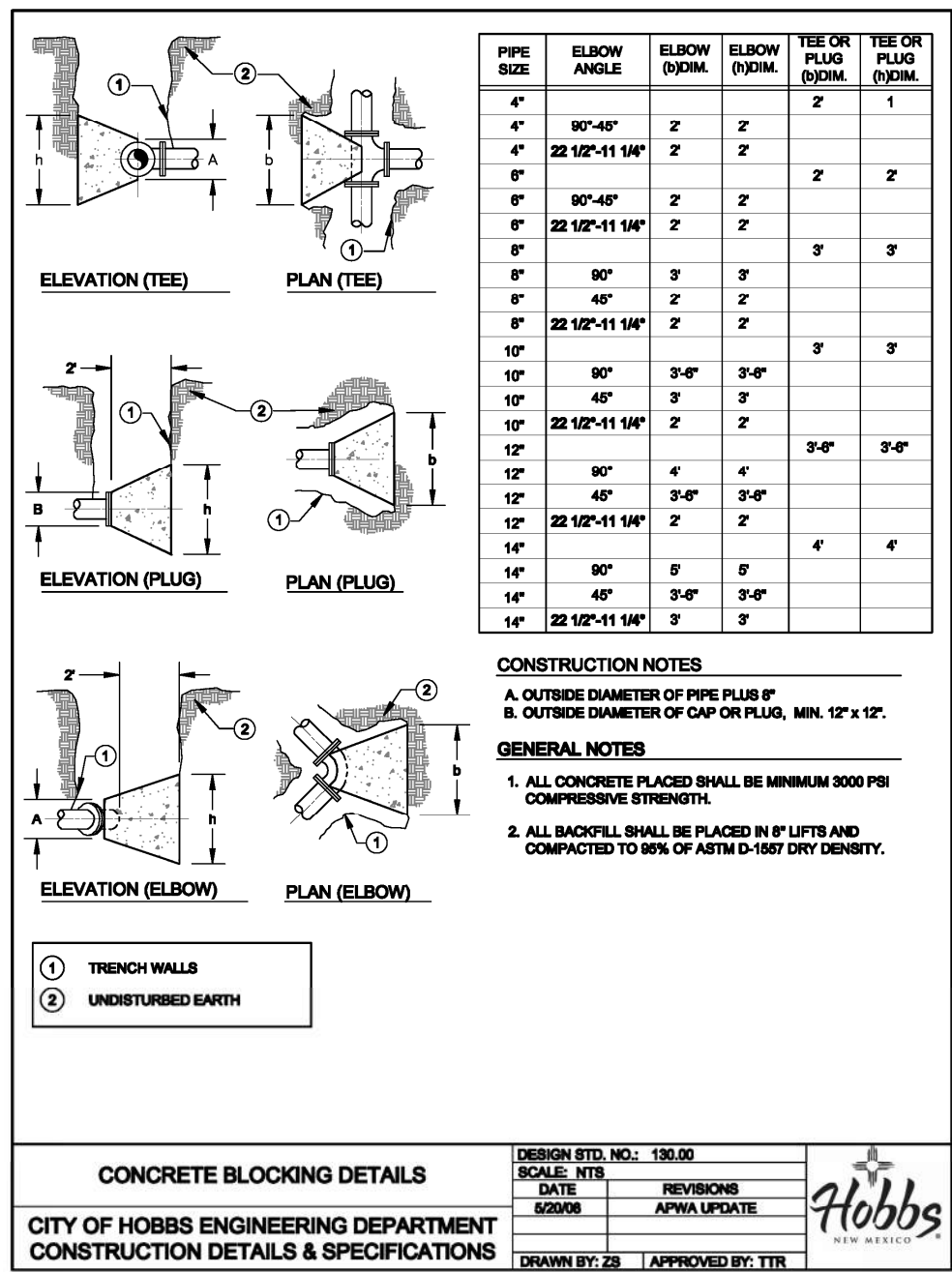
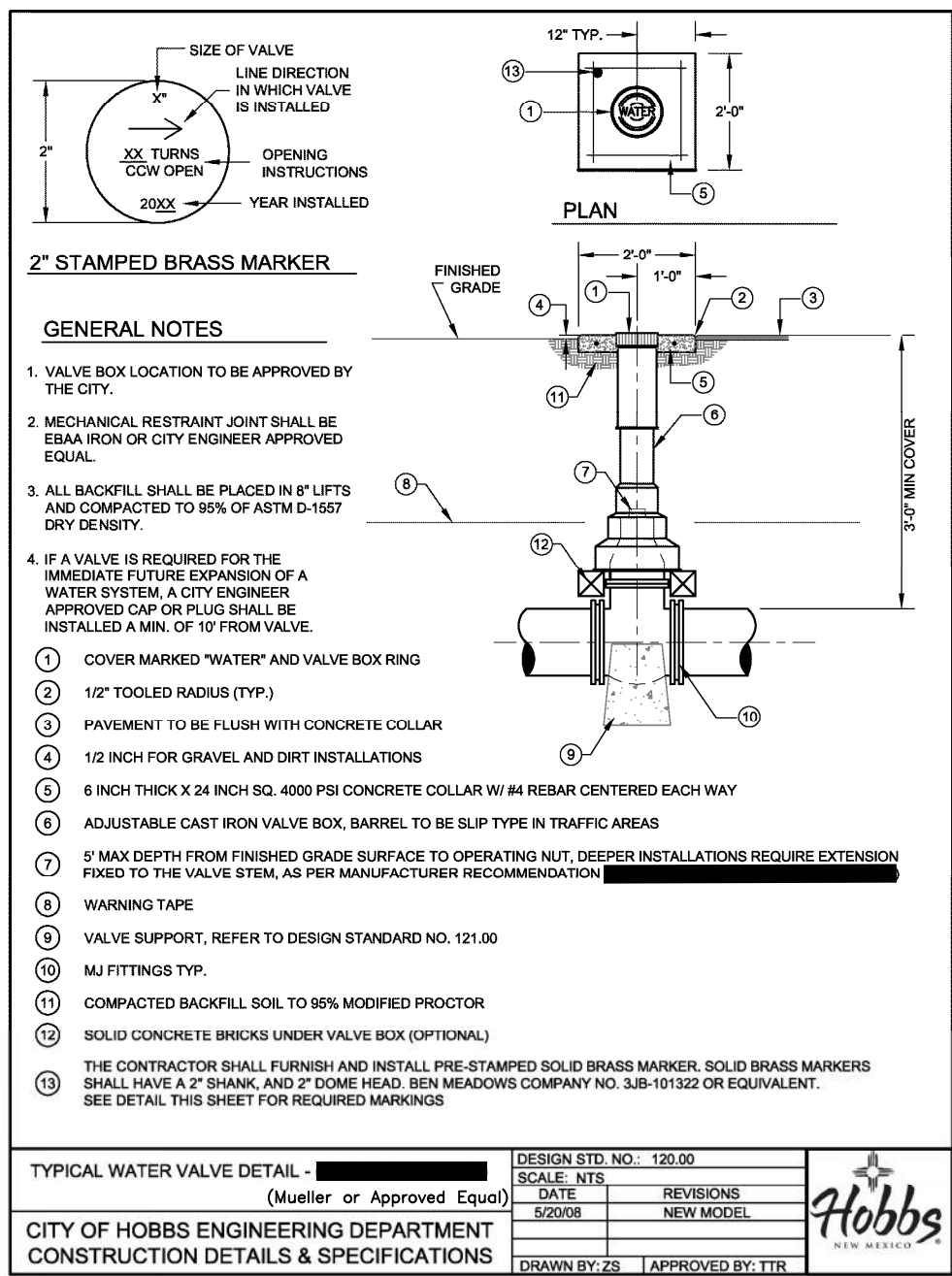
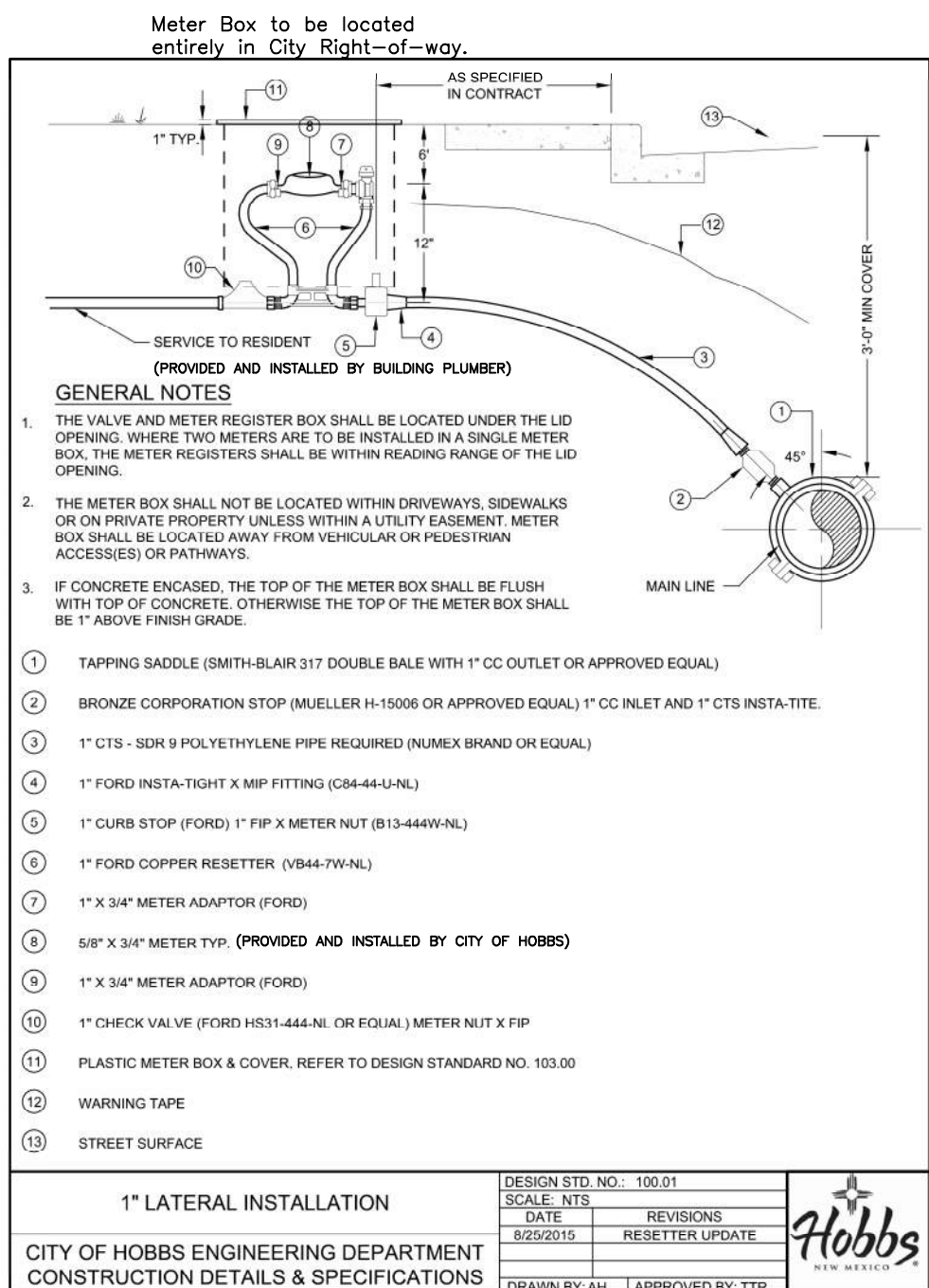
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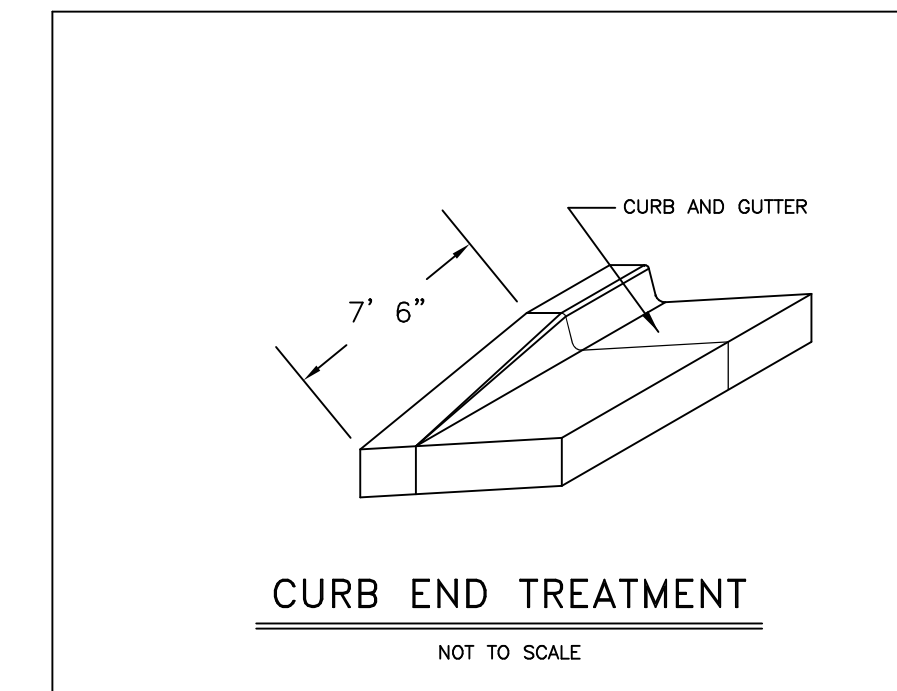
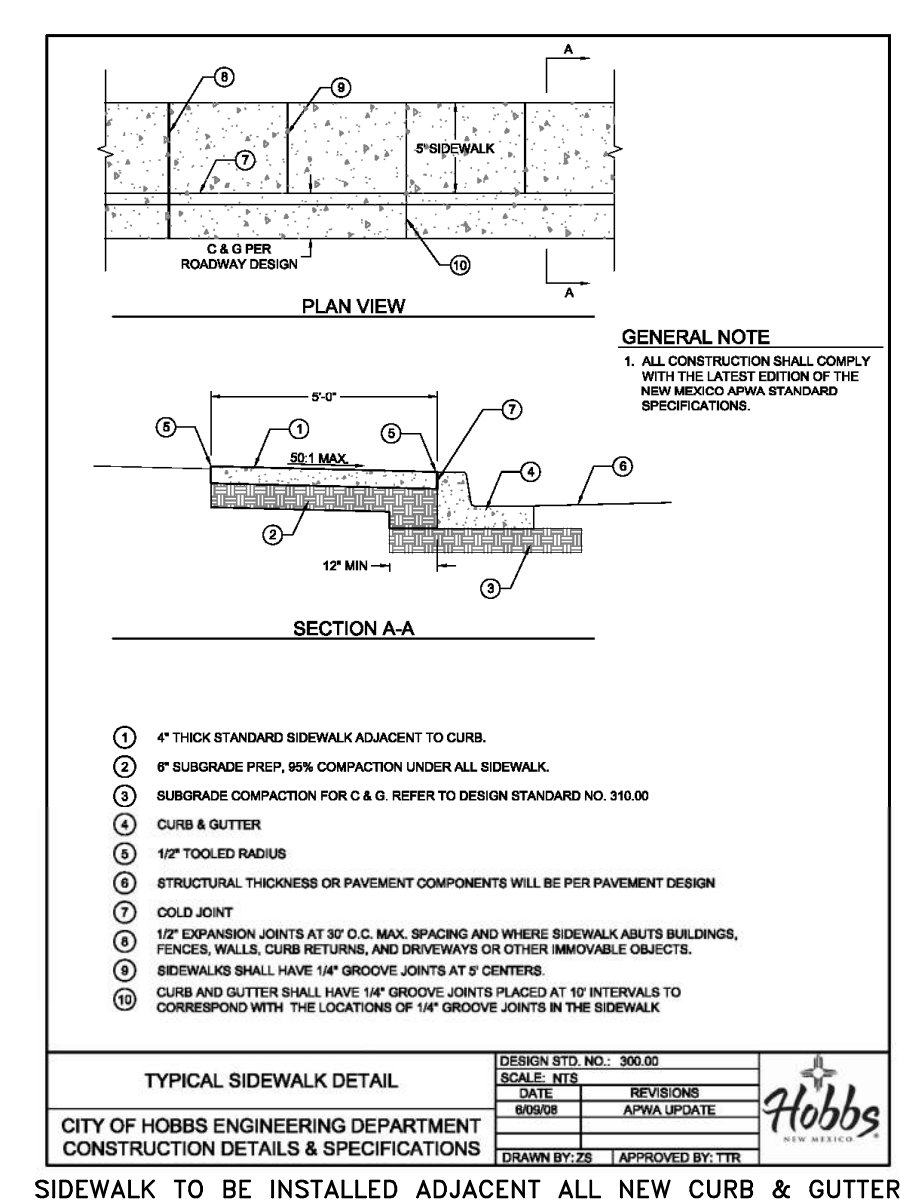
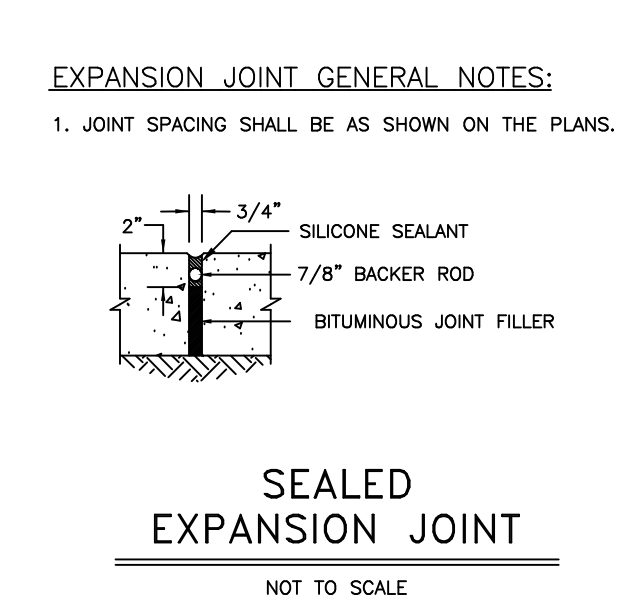
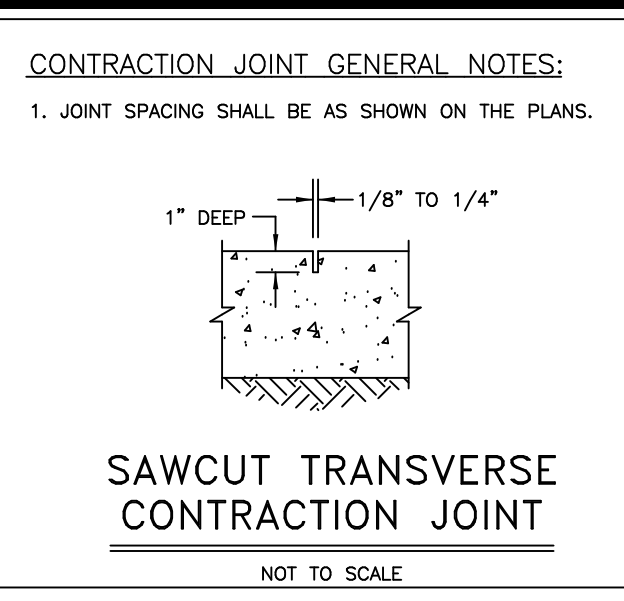
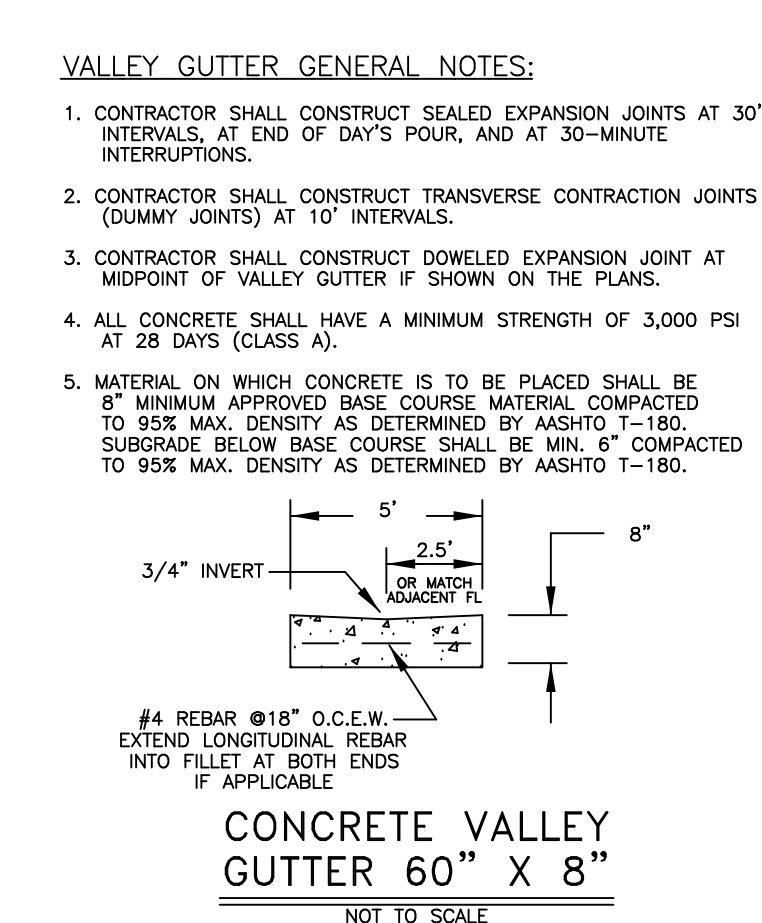
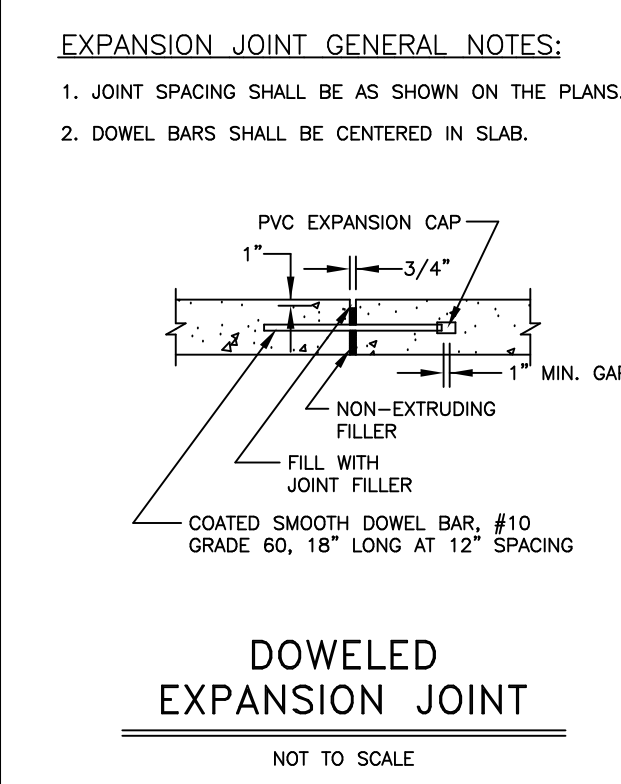
the ROSS GROUP
CONSULTING ENGINEERS
410 N. DAL PASO
HOBBES, NEW MEXICO 88240
(575) 392-7918 TELE.
(575) 392-9114 FAX

ZIA CROSSING UNIT 9

INTERSECTION DETAILS

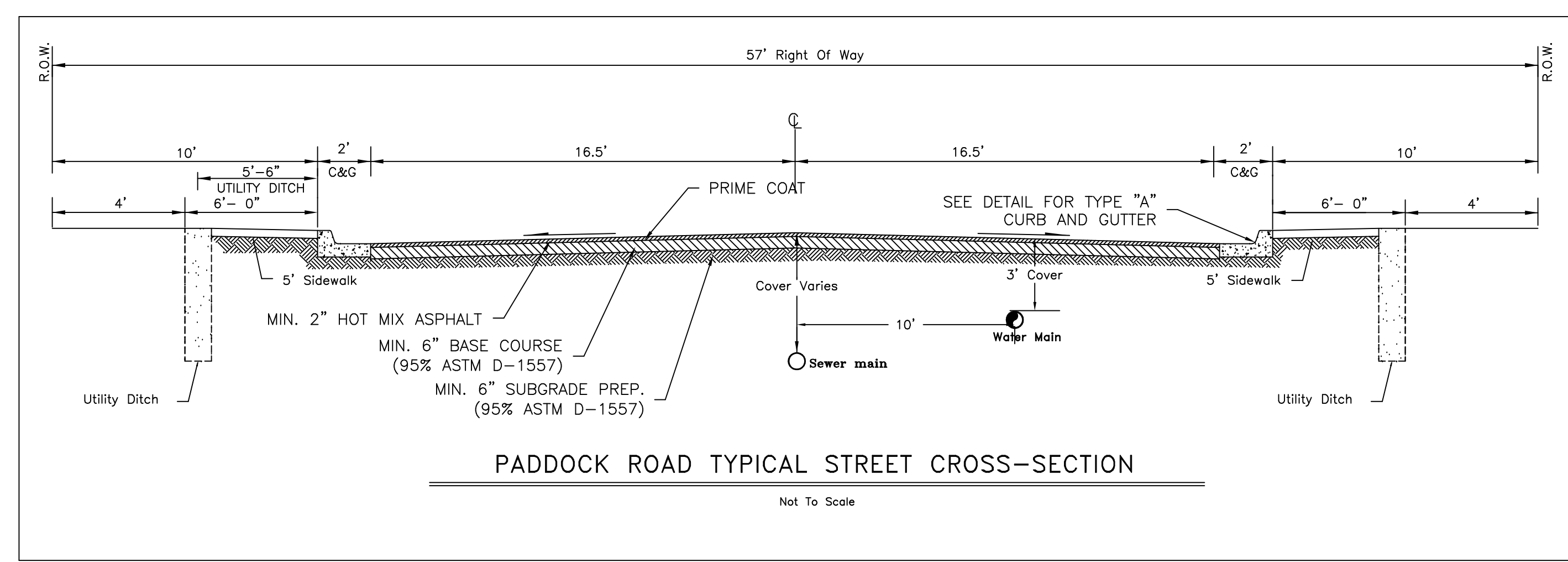
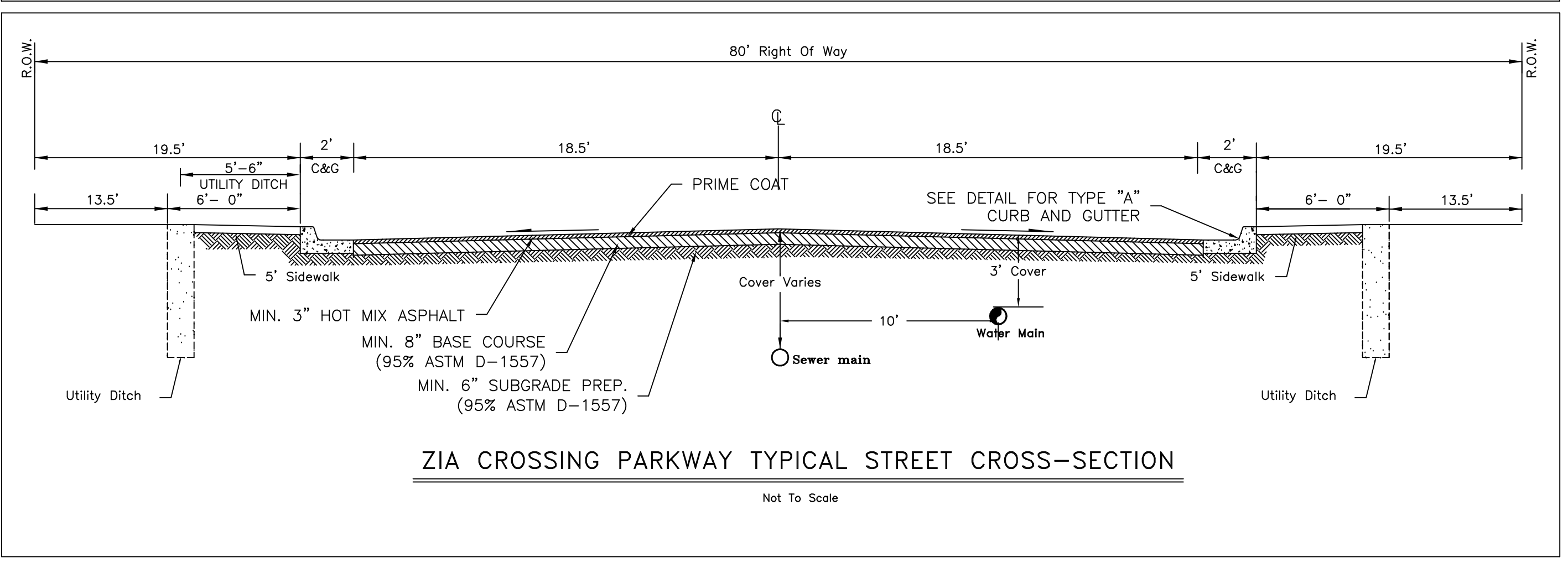
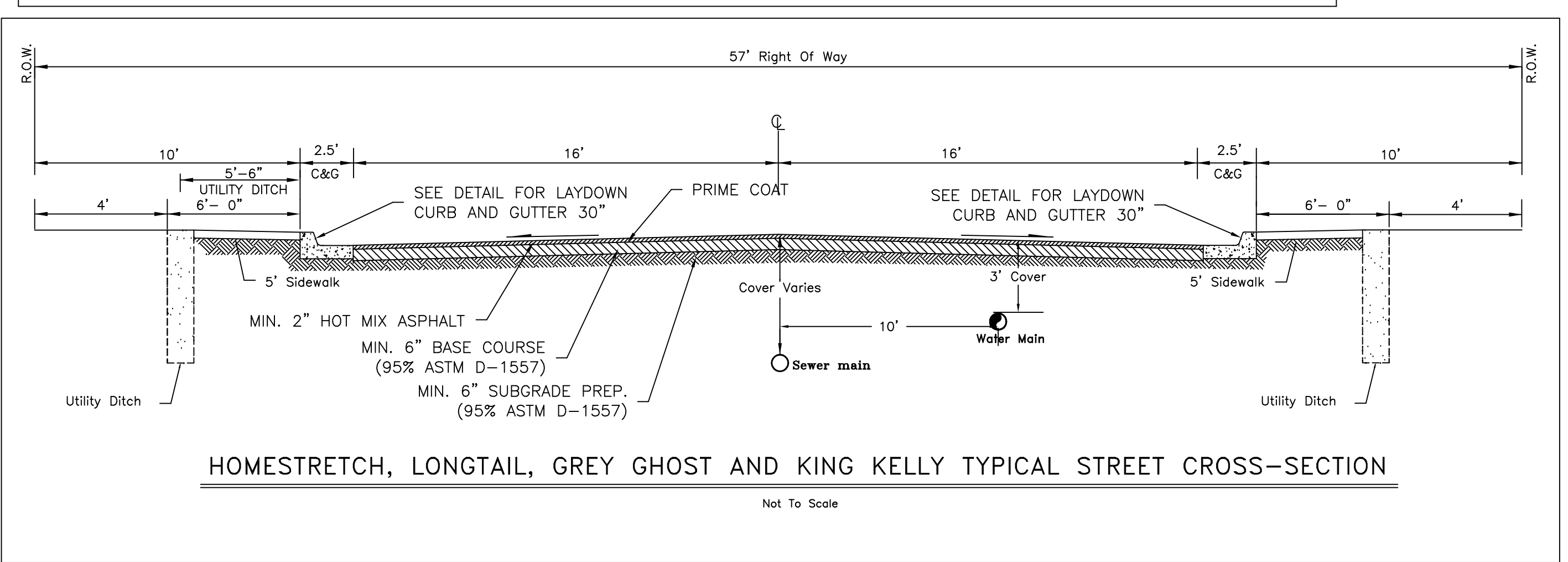
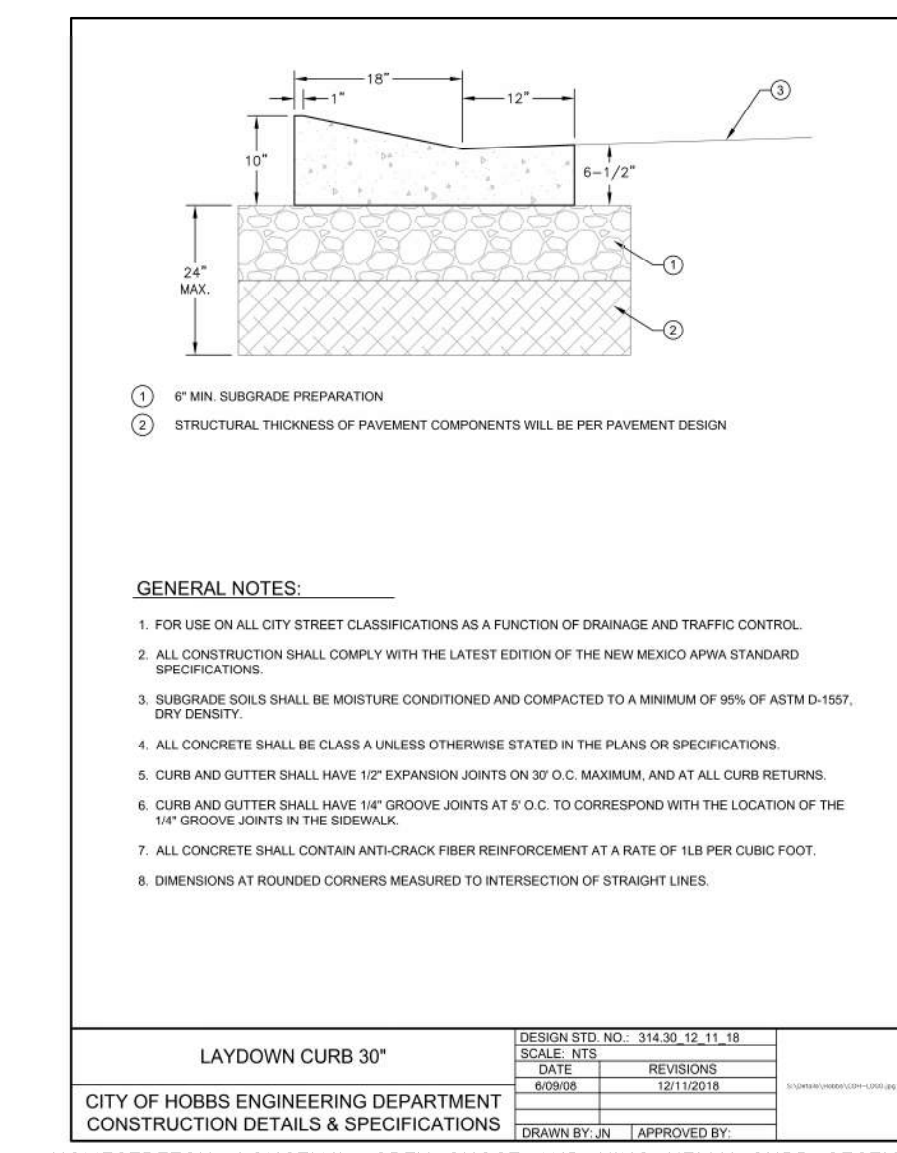
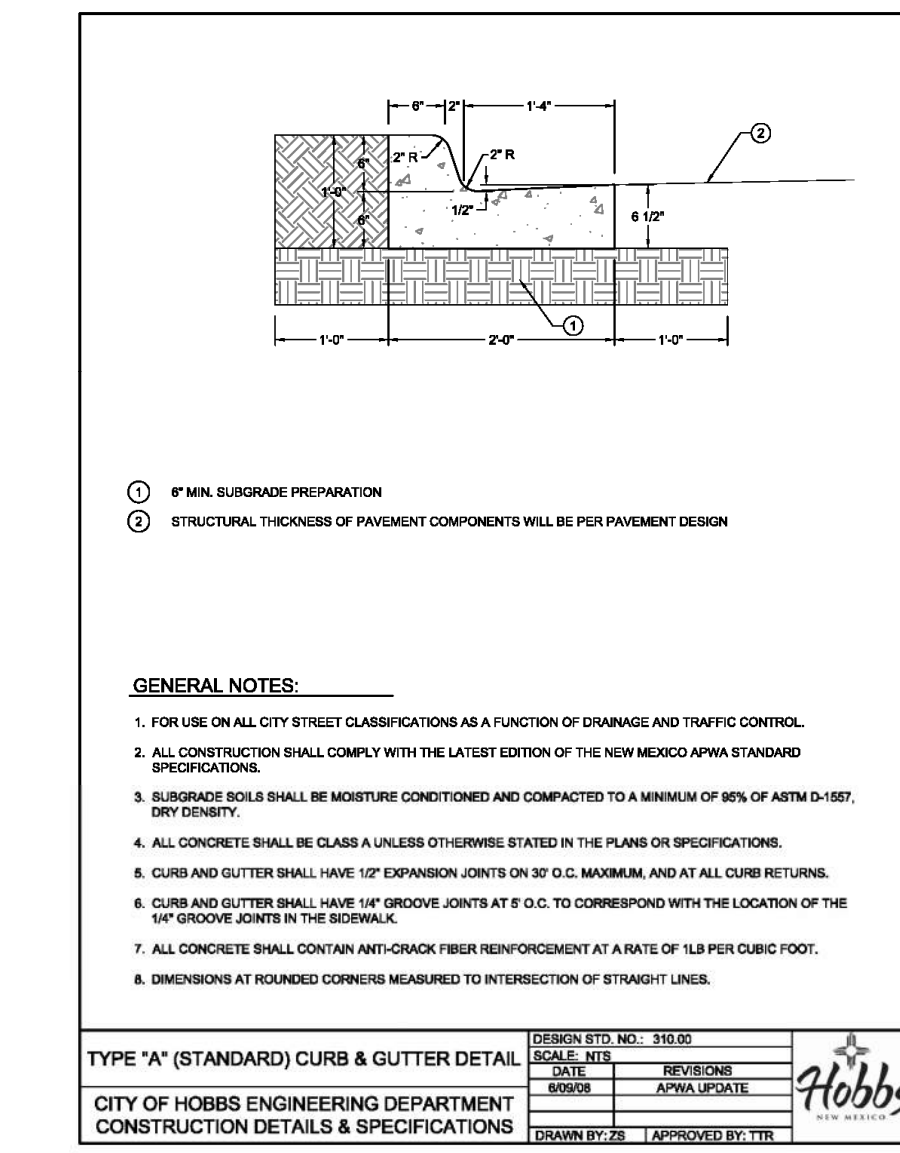
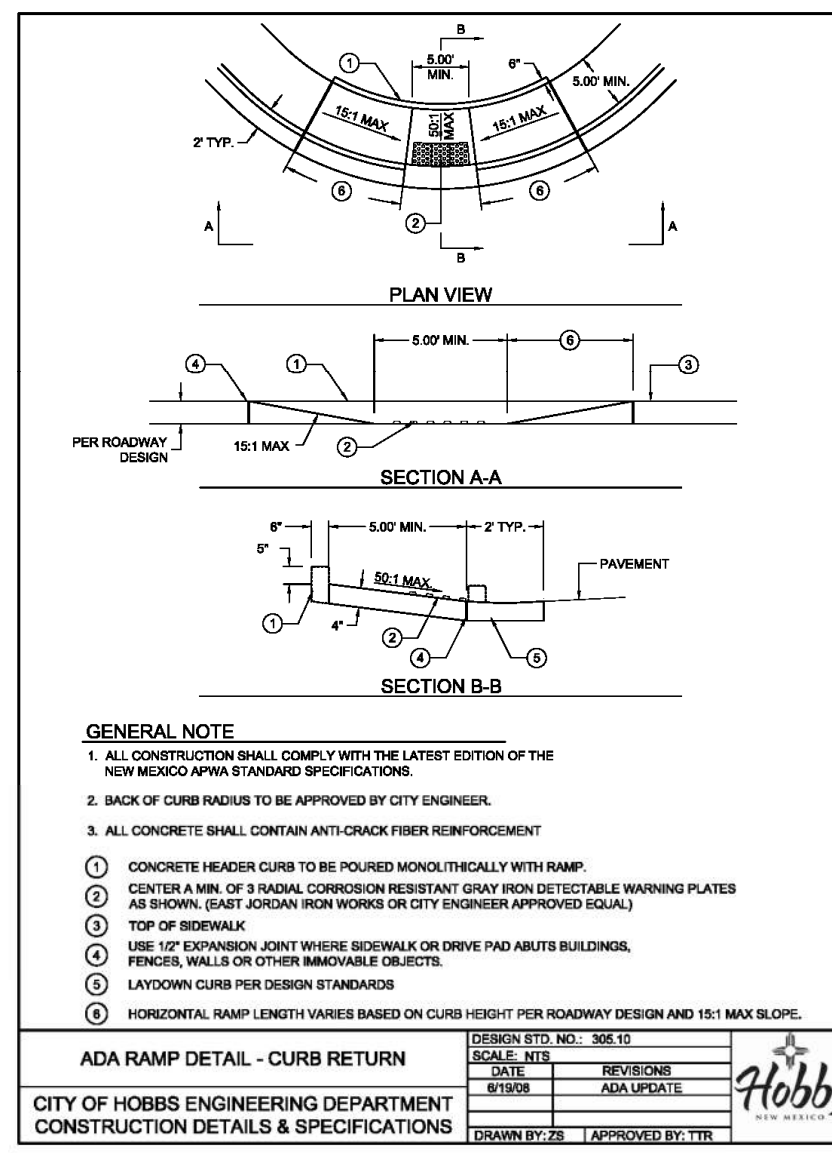
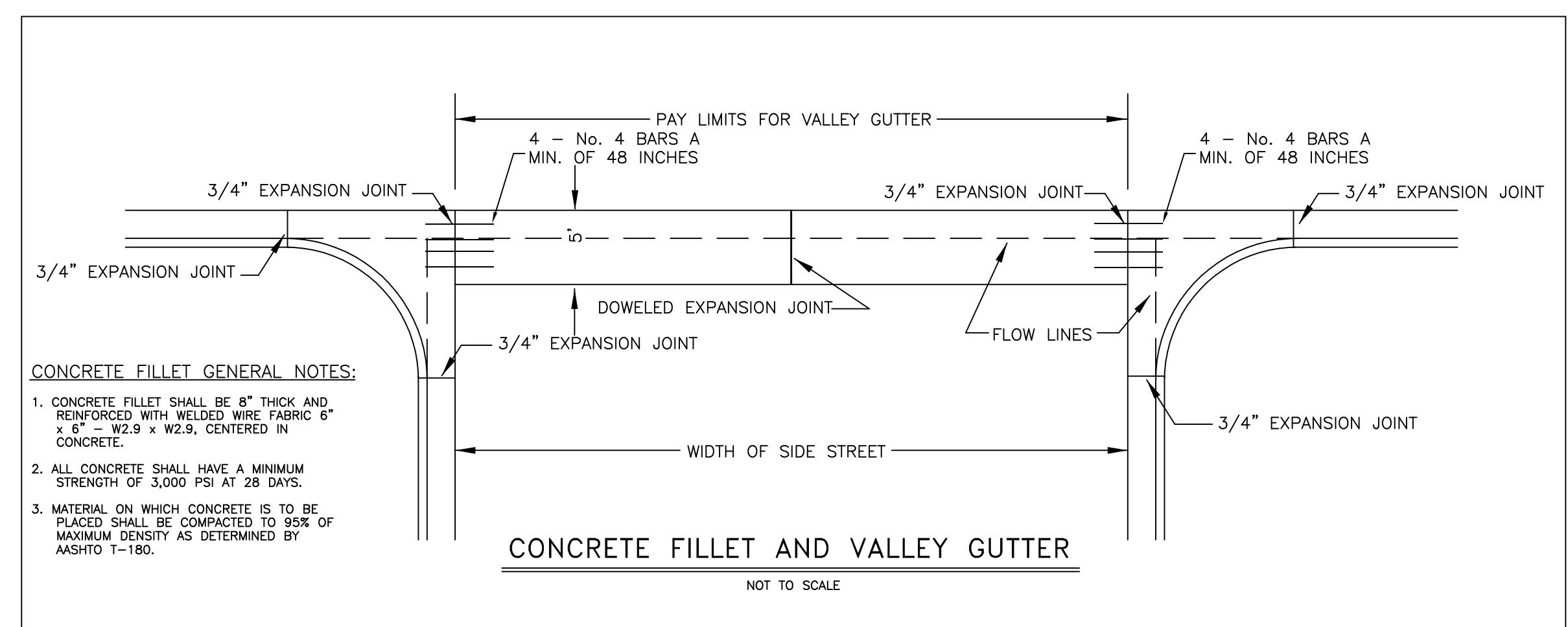
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ROADWAY CONSTRUCTION GENERAL NOTES:

ALL CONCRETE WORK SHALL INCLUDE FIBER REINFORCEMENT. FIBERS SHALL BE VIRGIN POLYPROPYLENE STRANDS (APPROX. 3/4 inches IN LENGTH). ALL CONCRETE SHALL CONTAIN APPROXIMATELY 1.5 LBS. OF FIBER PER CUBIC YARD OF CONCRETE. NO SEPARATE MEASUREMENT OR PAYMENT WILL BE MADE FOR SUCH WORK AND SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION. FIBER REINFORCEMENT DOES DELETE REQUIREMENT FOR STEEL REINFORCEMENT WHEN REQUIRED BY DETAILS ON THIS SHEET.



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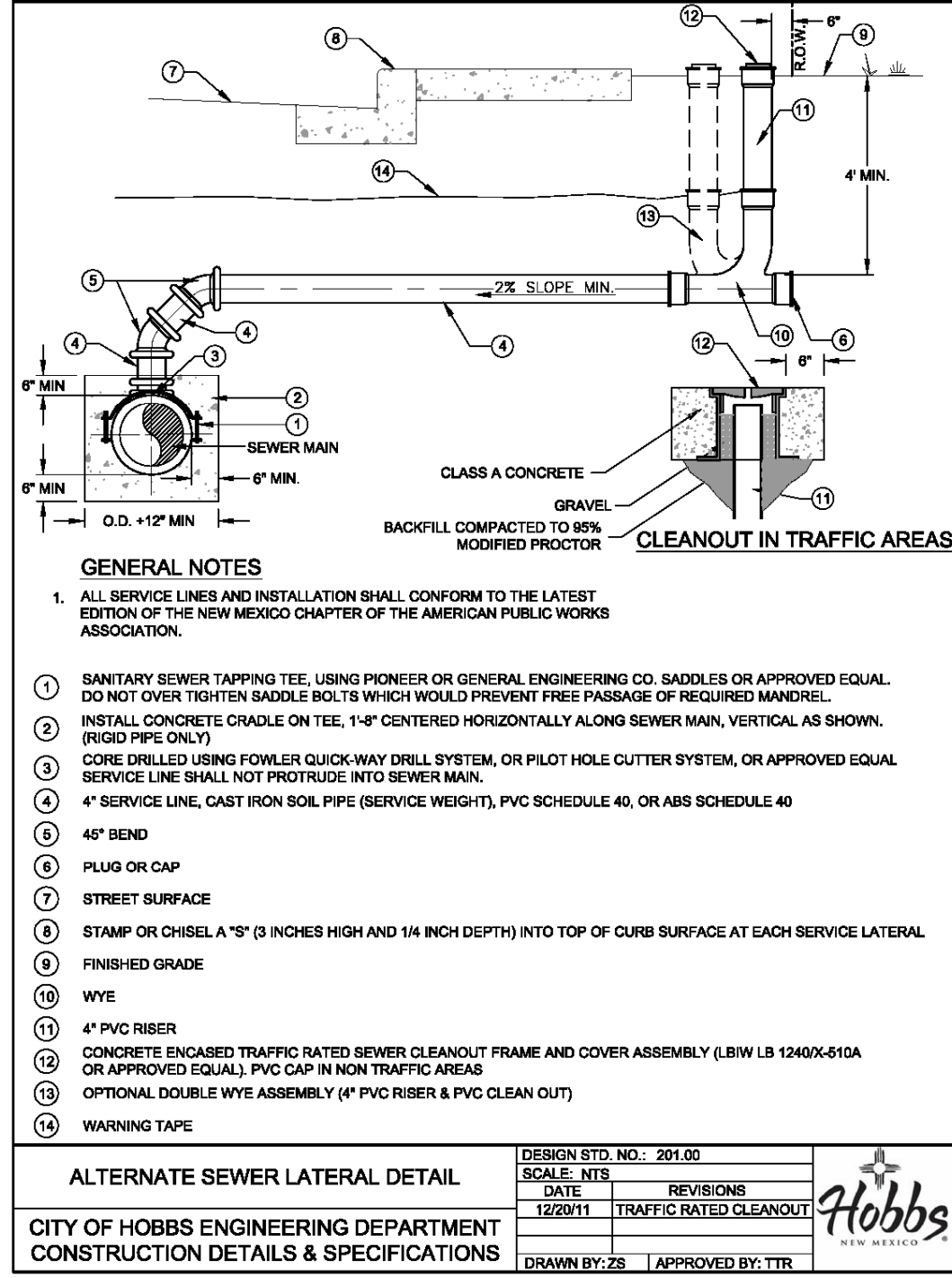
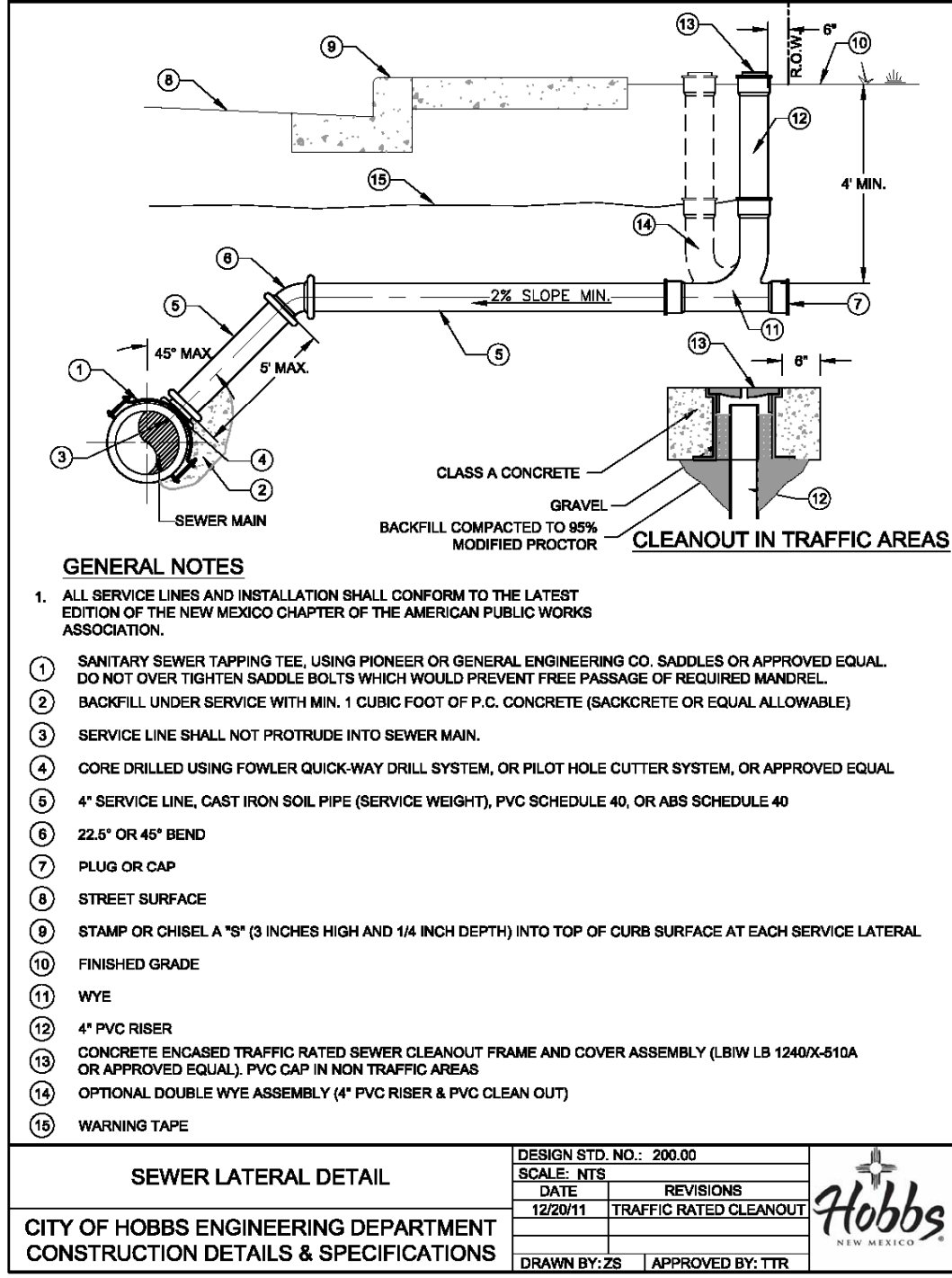
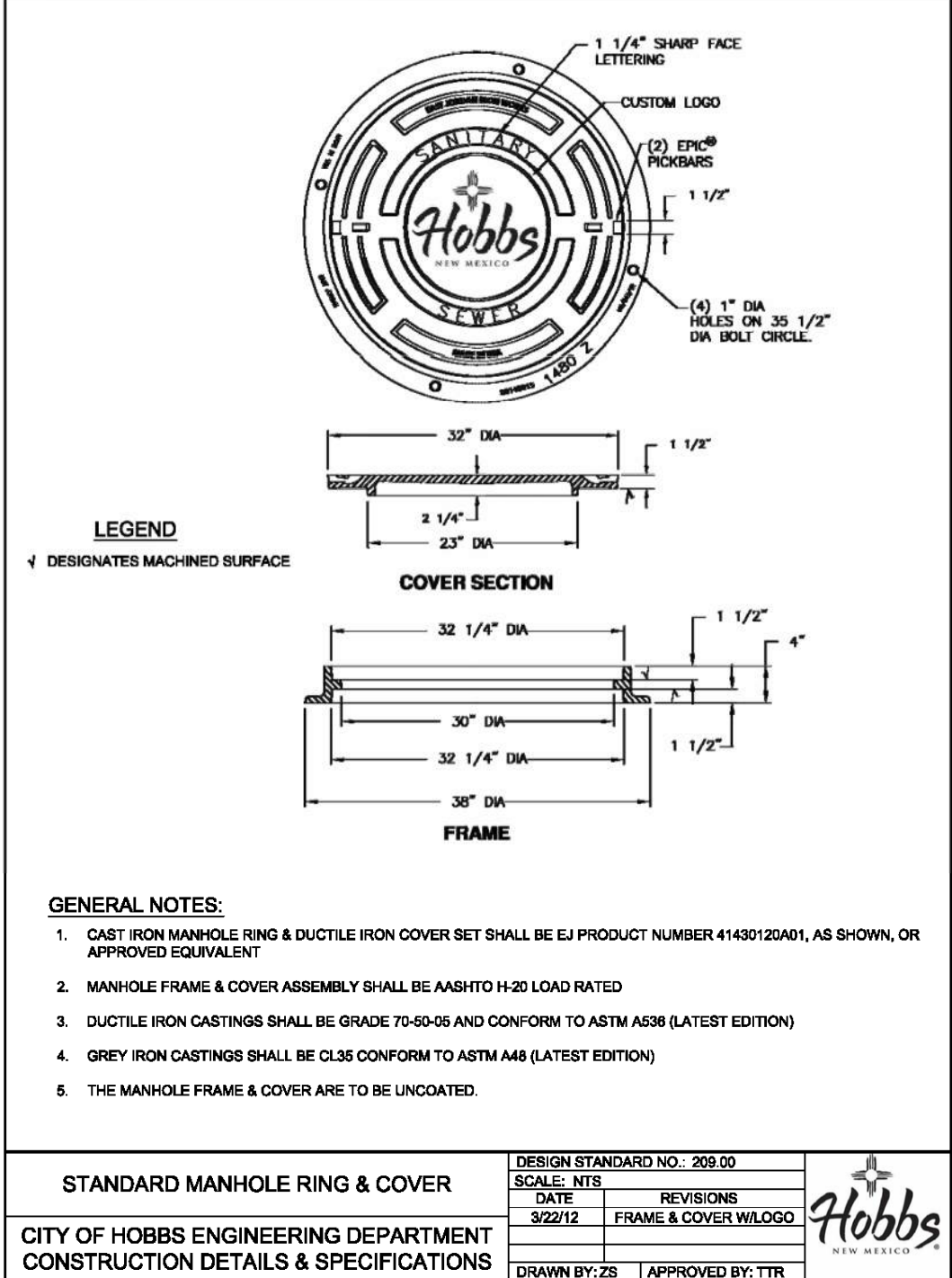
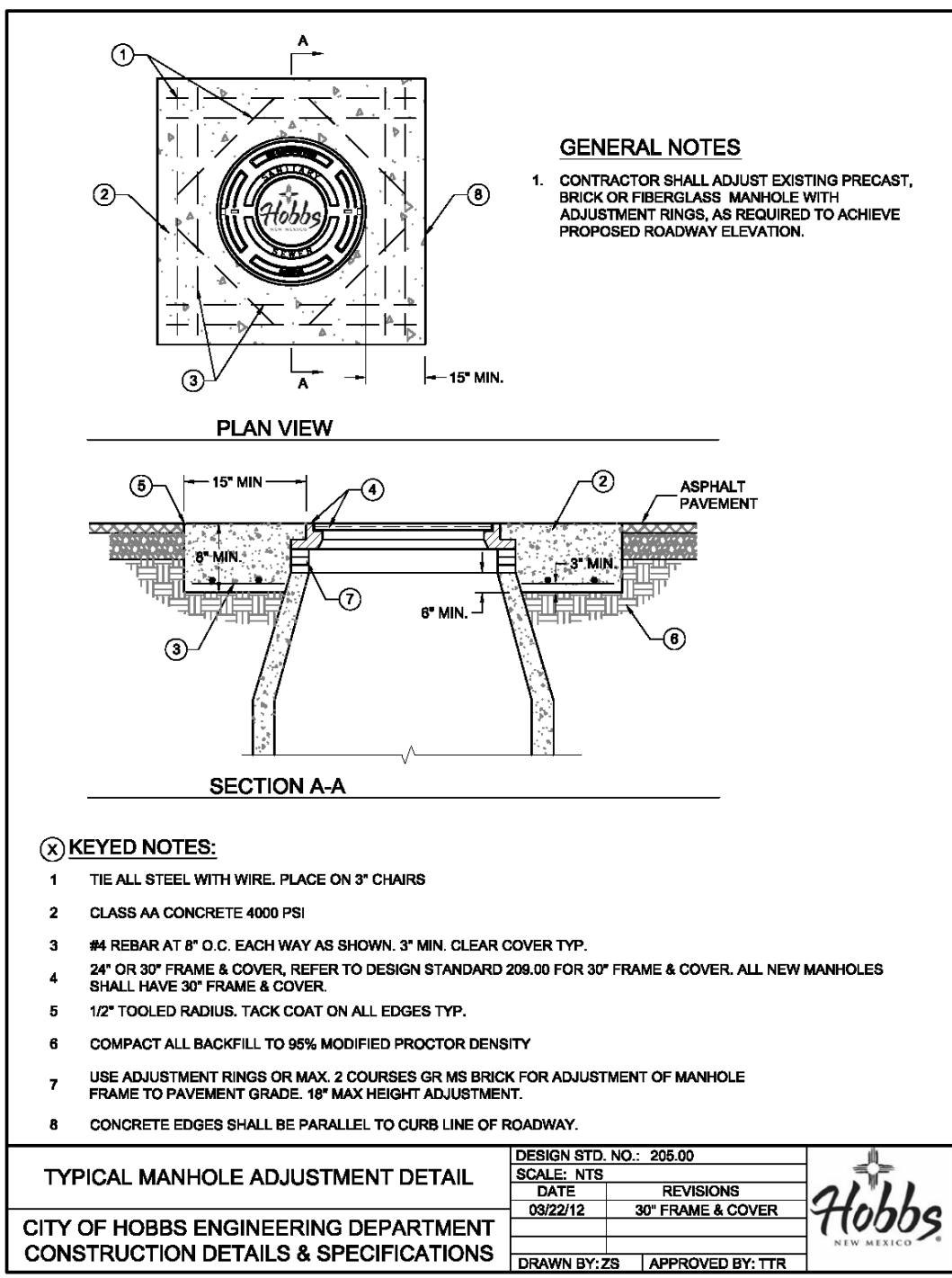
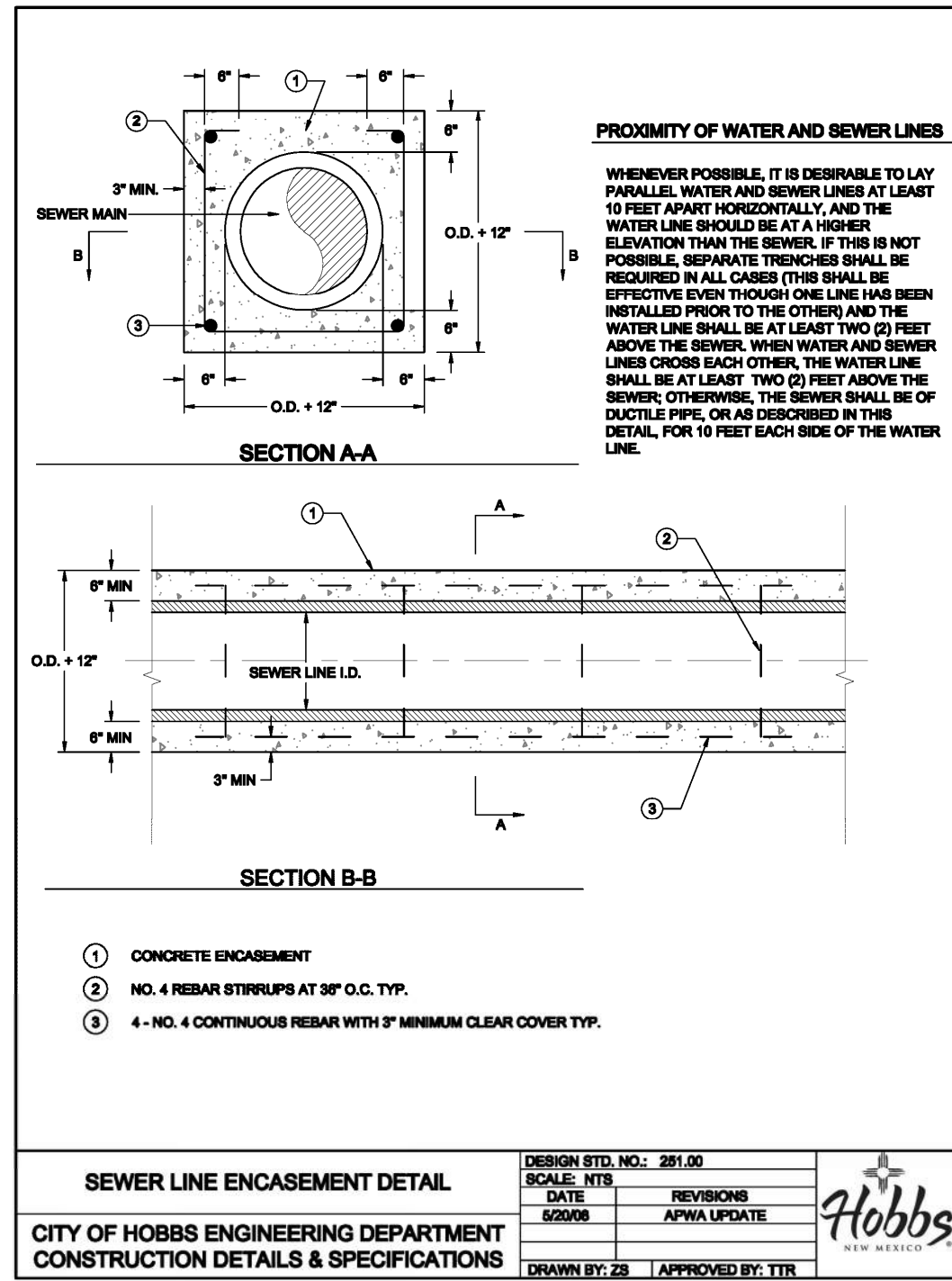
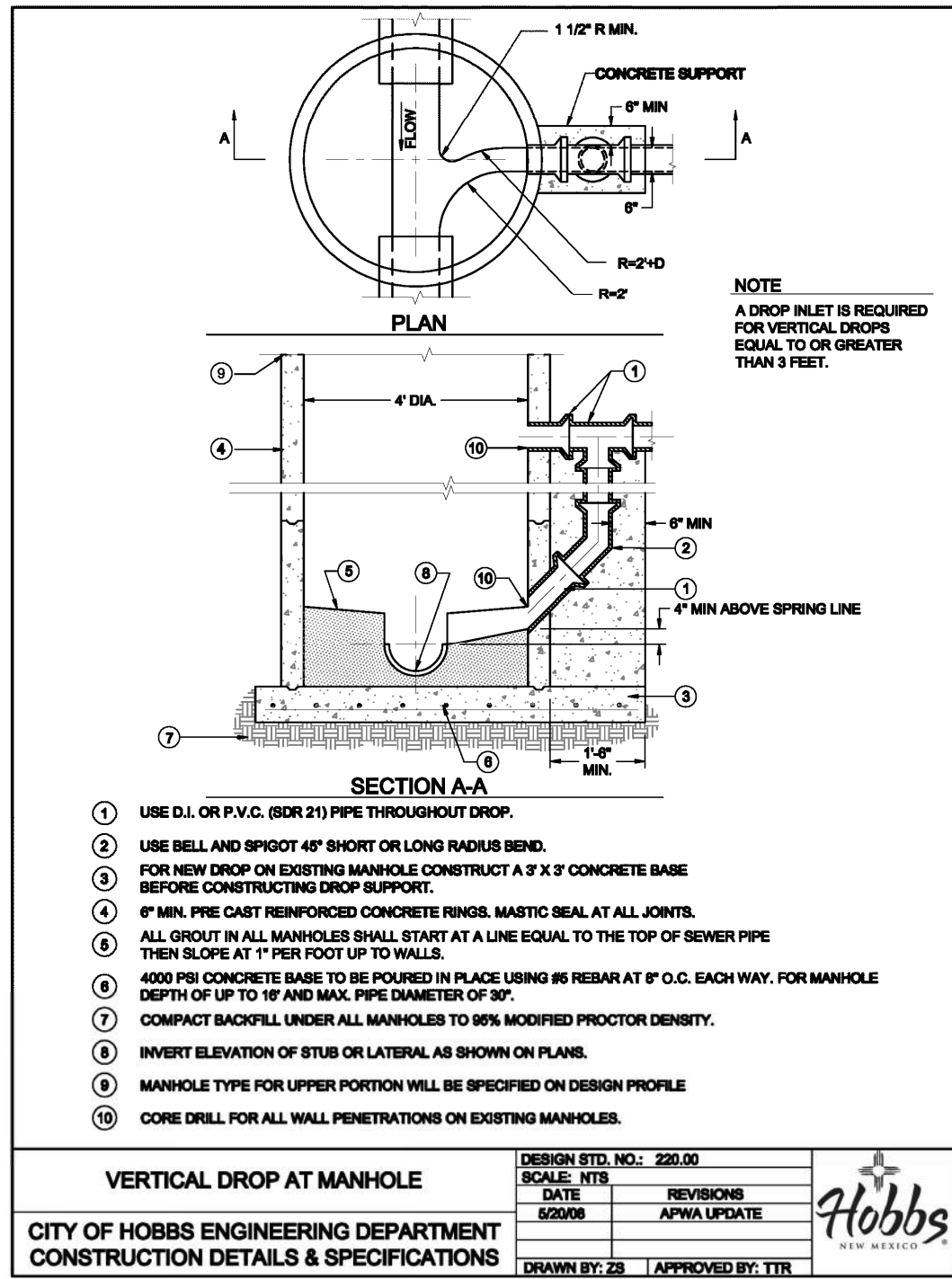
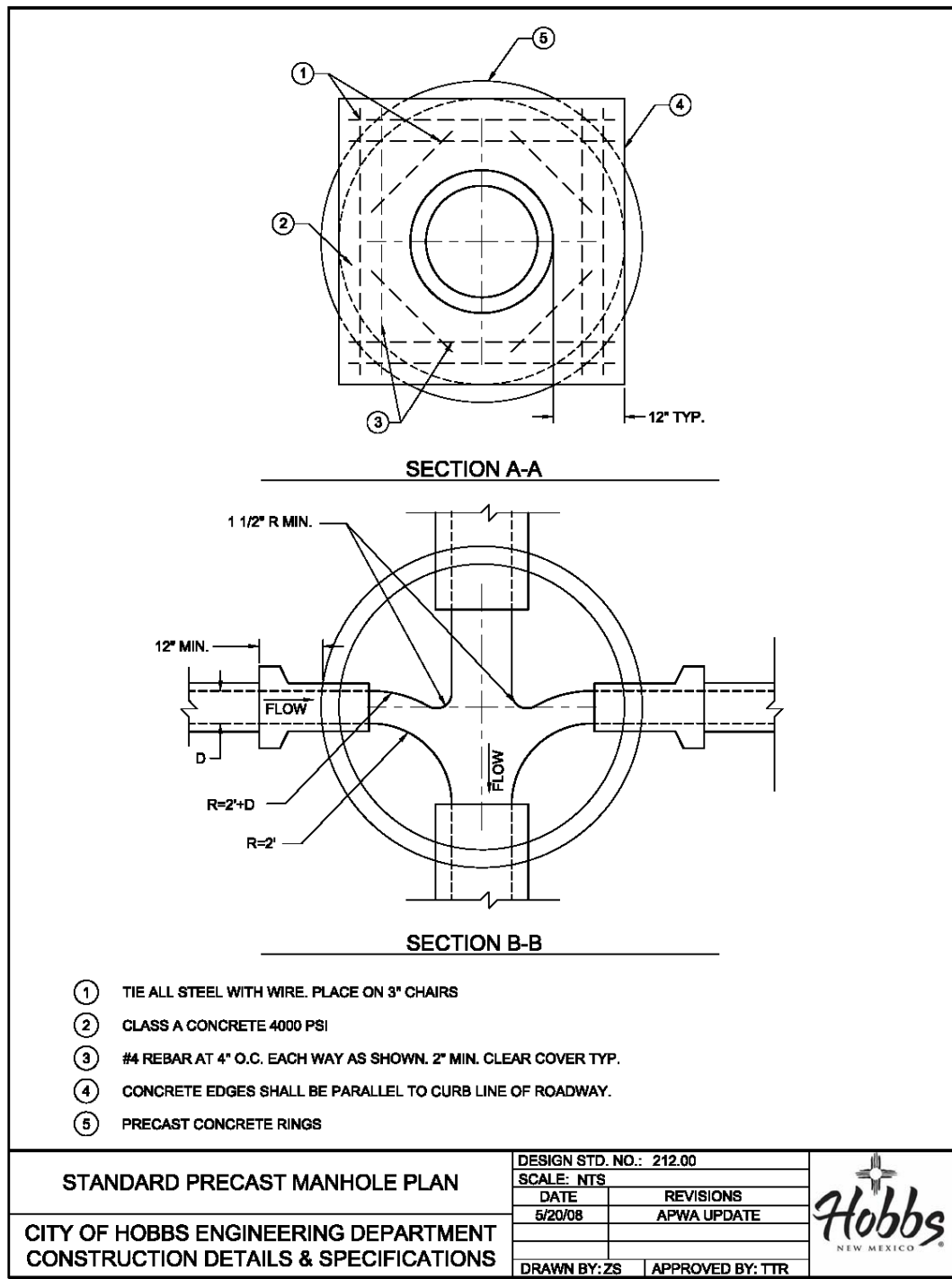
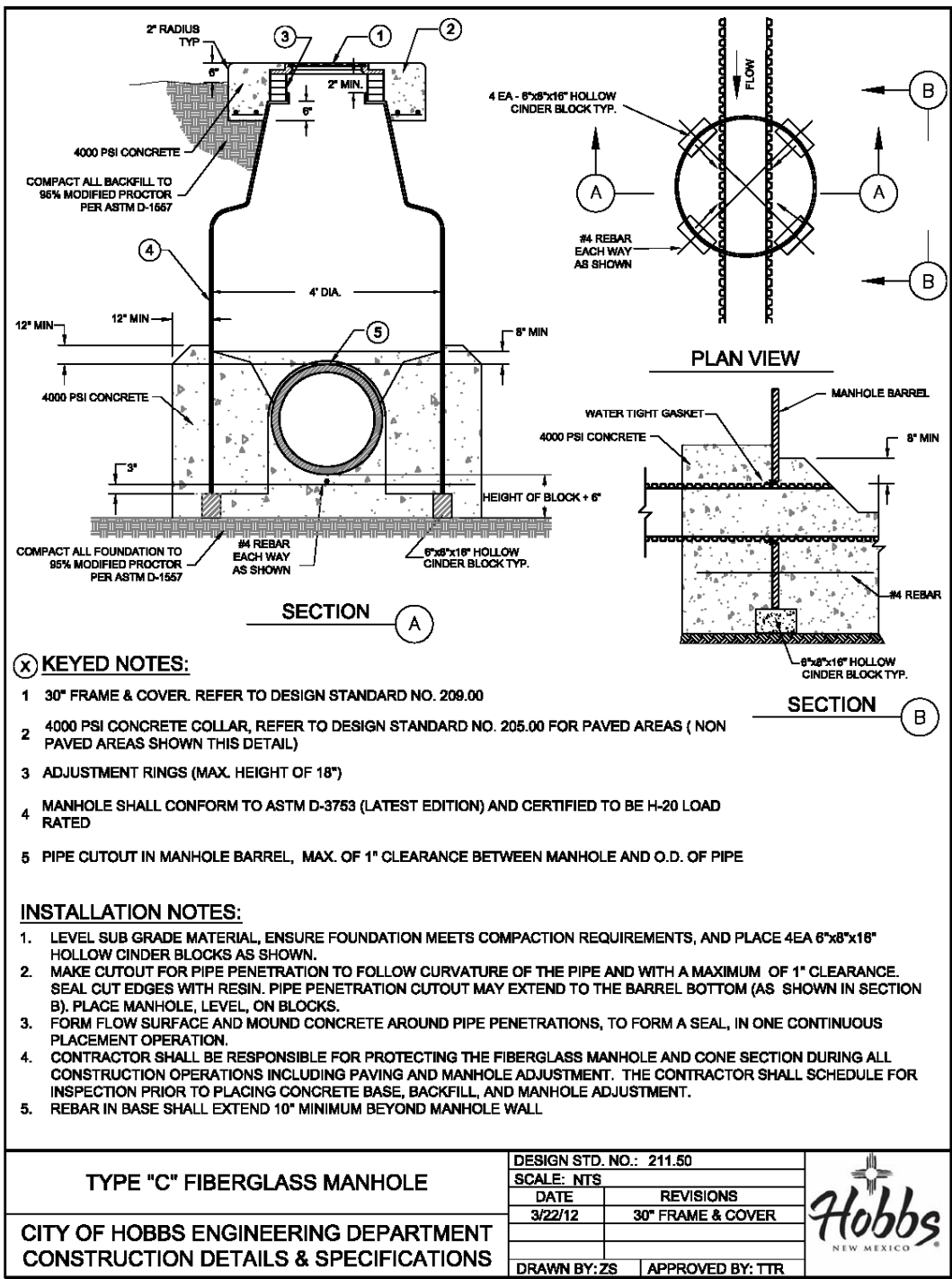
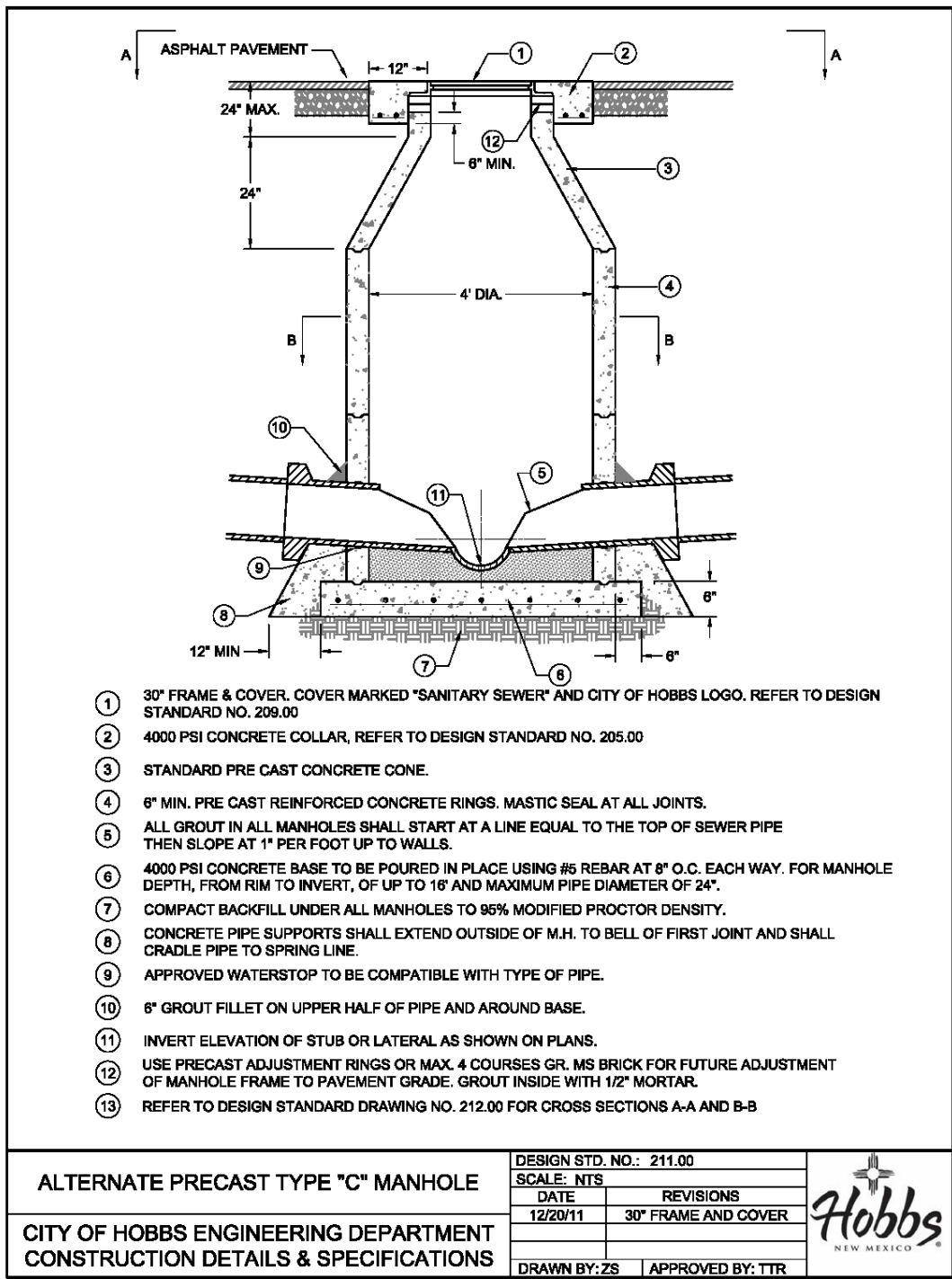
ZIA CROSSING UNIT 9

ROADWAY DETAILS



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| SMM | PLR |
| Date: | Disk: |
| 8/4/21 | GENERAL |
| File Name: | Job No.: |
| ROAD | |
| SHEET | |
| R1 | |
| R1 of R1 sheets | |

ORIGINAL DRAWING SIZE 24" X 36"



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ZIA CROSSING UNIT 9

SEWER DETAILS

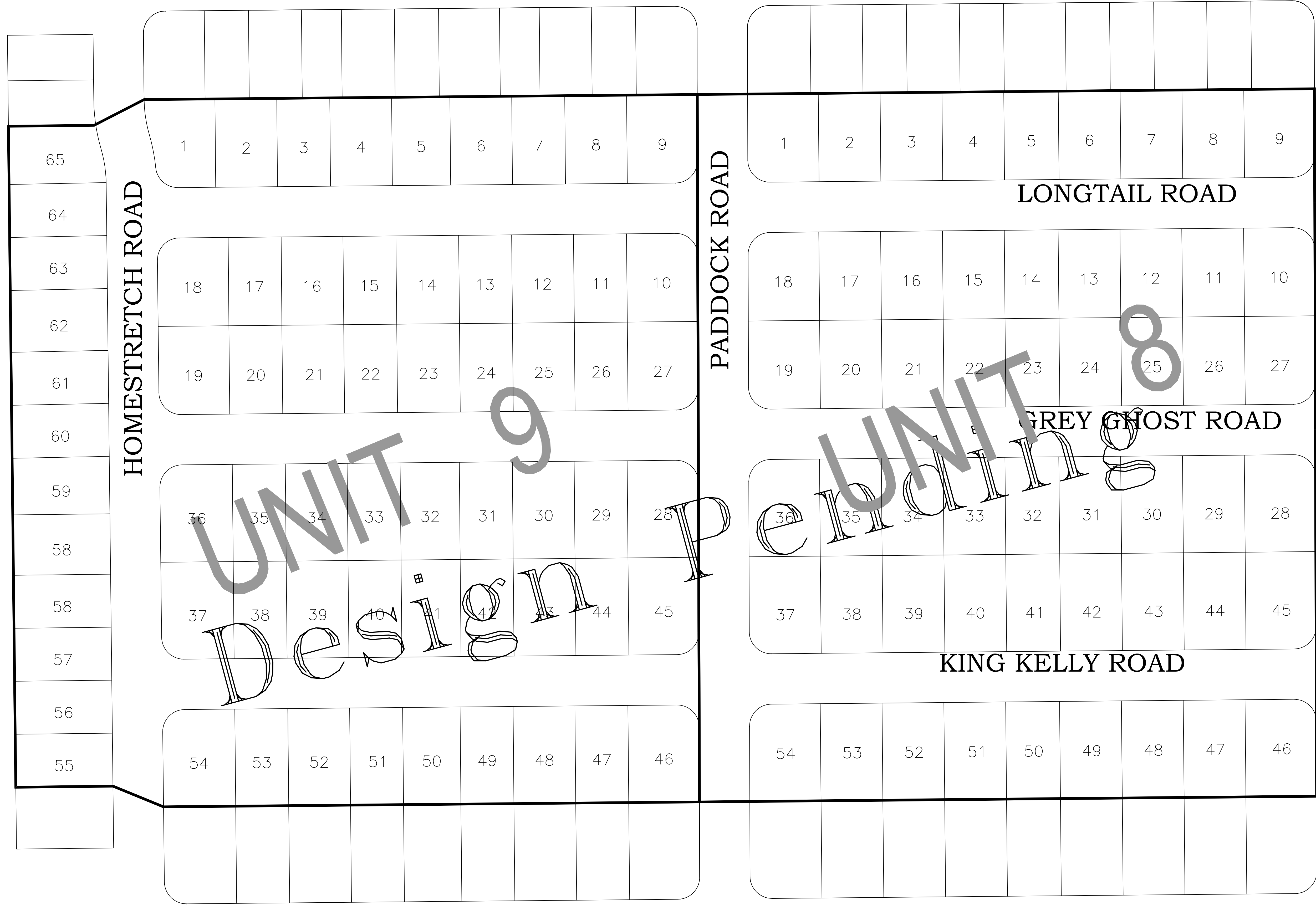
the ROSS GROUP
CONSULTING ENGINEERS
410 N. DAL PASO
HOBBS, NEW MEXICO 88240
(575) 392-7918 TELE.
(575) 392-9114 FAX

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| Drawn By: | Checked by: |
| SMM | PLR |
| Date: | Disk: |
| 8/4/21 | GENERAL |
| File Name: | Job No.: |
| SEWER | |

SHEET
S1
S1 of S1 sheets

NOTE:
SEE WATER DETAILS (SHEET W1) FOR
TRENCH DETAILS, BOTH MECHANICAL
COMPACTION AND/OR FLOWABLE FILL.

ORIGINAL DRAWING SIZE 24" X 36"



DRAWING PROVIDED BY XCEL ENERGY.

PRELIMINARY - NOT FOR CONSTRUCTION - UNDER REVIEW

ORIGINAL DRAWING SIZE 24" X 36".

DRAWING
PROVIDED
BY XCEL
ENERGY.

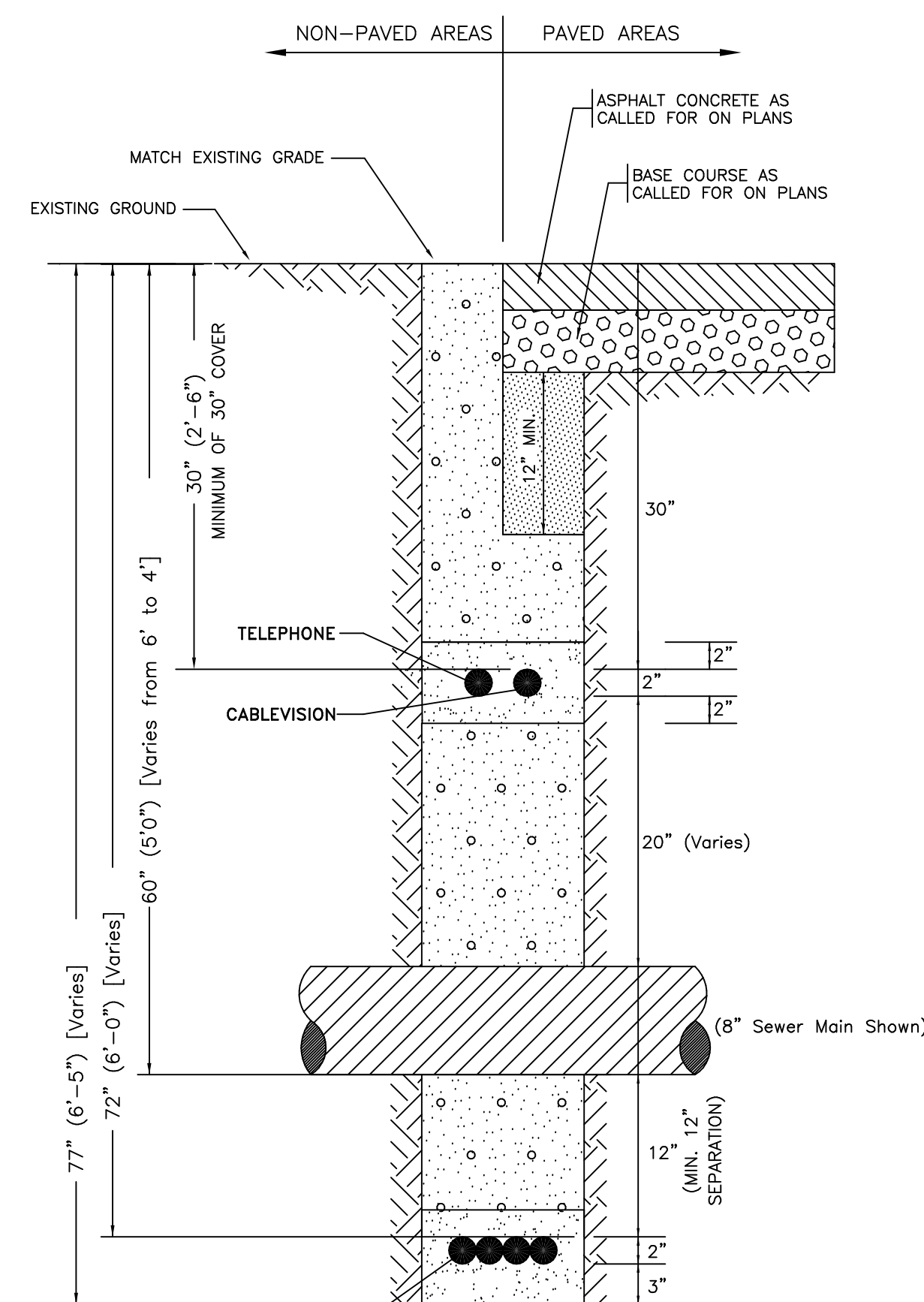
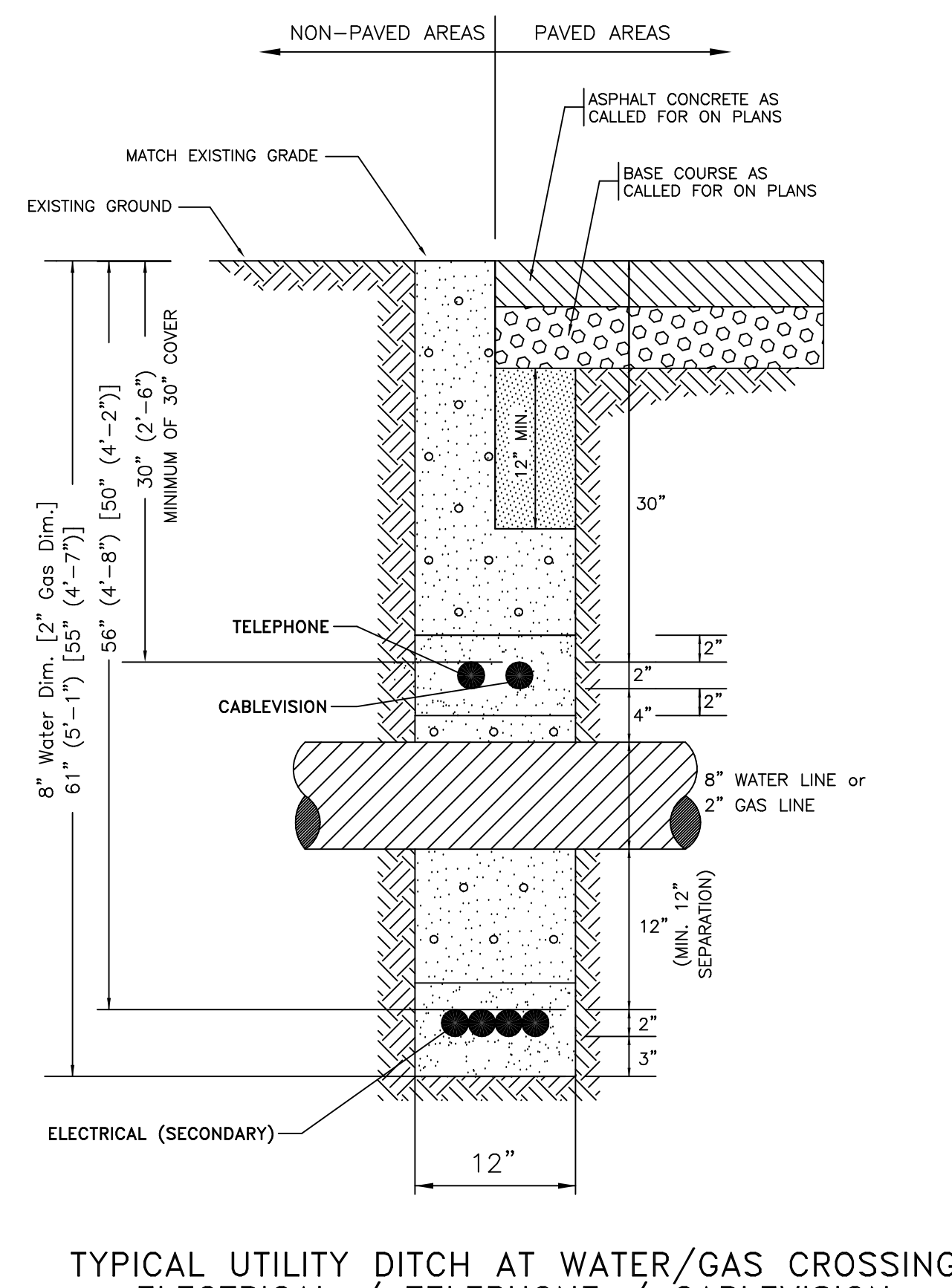
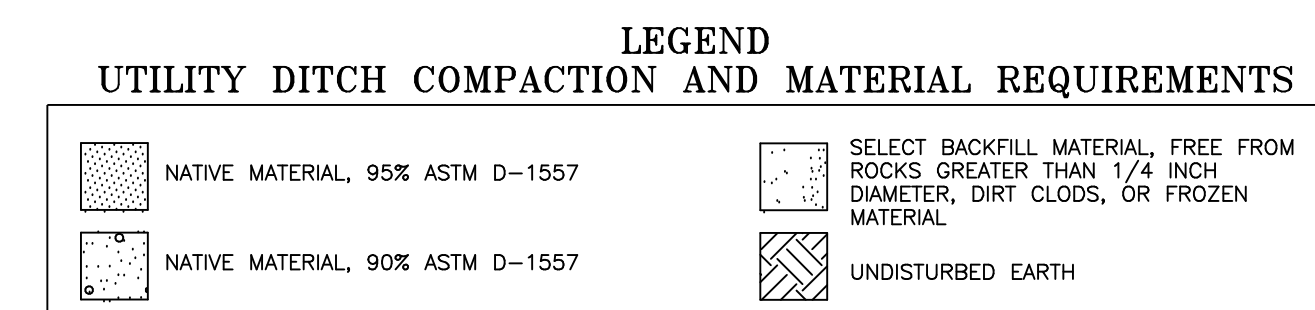
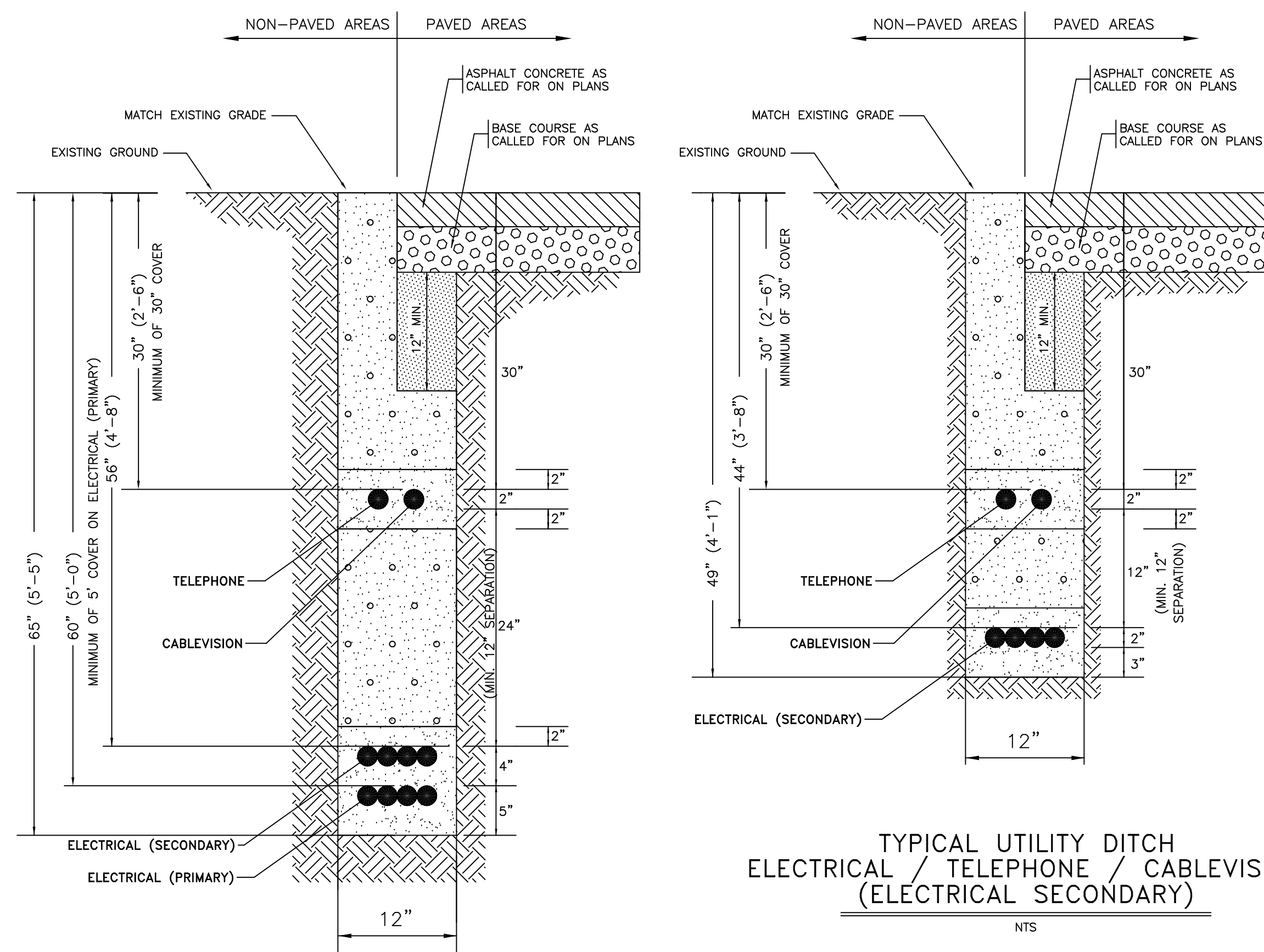
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ZIA CROSSING UNIT 9
UTILITY (ELECTRIC/CABLE/TELEPHONE)
LAYOUT PLAN (BY XCEL ENERGY)

the ROSS GROUP
CONSULTING ENGINEERS
410 N. DAL PASO
HOBBES, NEW MEXICO 88240
(575) 392-7918 TELE.
(575) 392-9114 FAX

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| Drawn By: | Checked by: |
| SMM | PLR |
| Date: | Disk: |
| 8/4/21 | GENERAL |
| File Name: | Job No.: |
| ROADS | |

SHEET
U1
U1 of U2 sheets



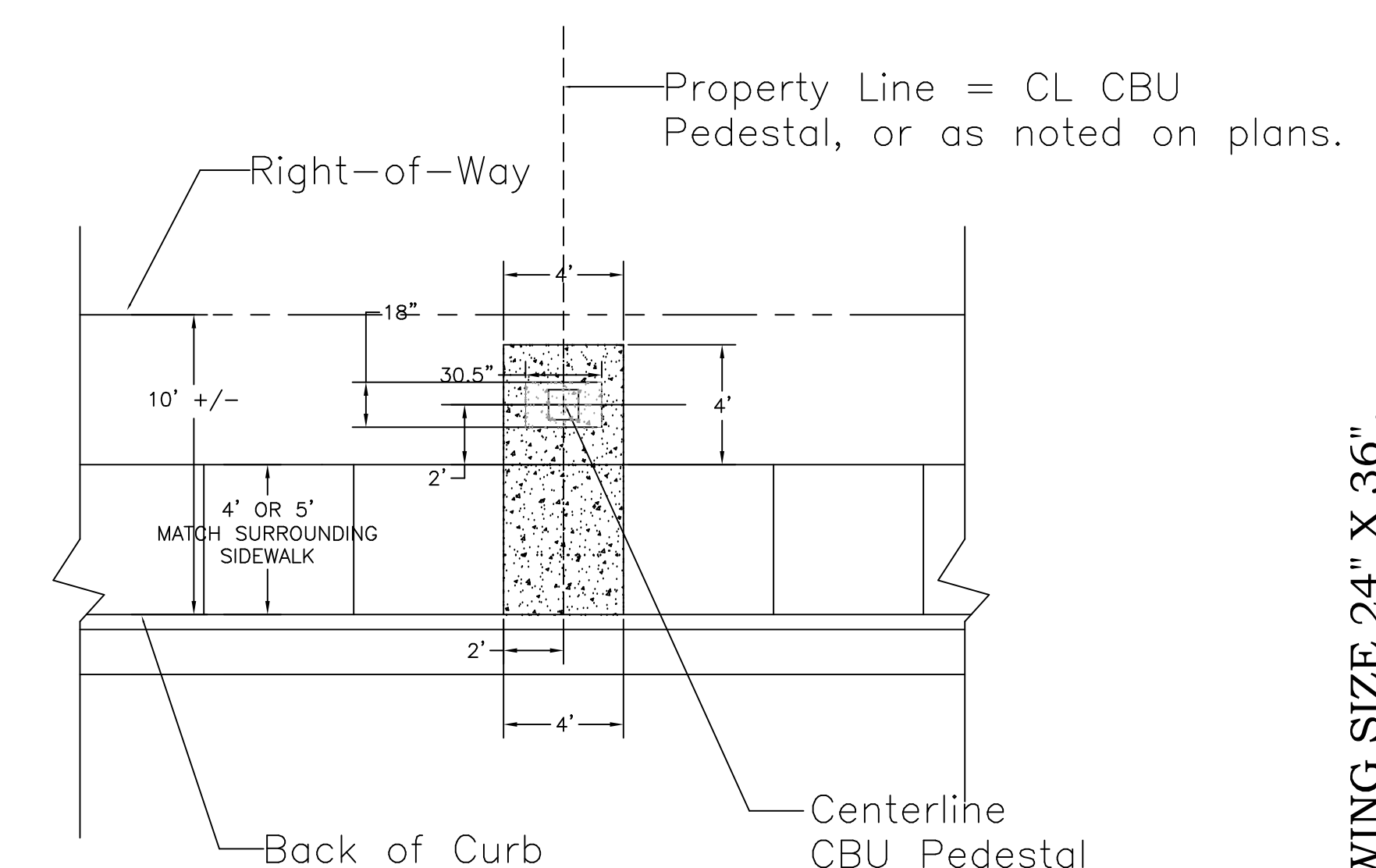
LEGEND

- ▲ 16 UNIT CBU (TOTAL 8 FOR UNITS 8 & 9)
4 EXISTING INSTALLED WITH UNIT 8 AND
4 PROPOSED FOR INSTALLATION WITH UNIT 9
TOTAL # OF LOTS UNIT 8 & 9 IS 119.
TOTAL # OF BOXES = 8 x 16 = 128.



CONSTRUCTION NOTES: DITCHING (UTILITY) CONTRACTOR

1. DITCHES, BACKFILL MATERIALS, BACKFILL & COMPACTION PROVIDED BY DITCHING CONTRACTOR.
2. DITCHING CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ALL UTILITY OWNERS AND FOR THE PROTECTION OF ALL FACILITIES AFTER THEIR INSTALLATION. IF APPLICABLE, GAS COMPANY SHALL DITCH, INSTALL, BACKFILL AND COMPACT THEIR OWN UTILITIES.
3. ANY UTILITIES DAMAGED BY THE DITCHING CONTRACTOR DURING TRENCHING, COMPACTION, OR INSTALLING SERVICE LATERALS SHALL BE REPAIRED AND/OR REPLACED AT THE EXPENSE OF THE DITCHING CONTRACTOR.
4. EXTRA DEPTH NECESSARY FOR THE ELECTRICAL PRIMARY AND SECONDARY TO CROSS UNDER WATER OR SEWER LINES AS SHOWN IN THE TYPICAL DETAILS IS CONSIDERED INCIDENTAL AND NO EXTRA PAYMENT WILL BE MADE.



- Notes:
1. Dimensions shown allow approximately 6.25' clearance in front of CBU (mailbox).
 2. See manufacturer's installation guide for installation of CBU pedestal and box.
 3. Centerline of CBU Pedestal shall not be located closer than 25' from curb return at corner lots.
 4. If CBU placed in area with out curb and gutter, 4' x 4' sidewalk still required in front of slab for pedestal.

[illegible]

ZIA CROSSING UNIT 9
POST OFFICE CLUSTER BOX DETAILS
UTILITY (ELECTRIC/CABLE/TELEPHONE)
TRENCH DETAILS

ROSS GROUP
CONSULTING ENGINEERS
410 N. DAL PASO
HOBBS, NEW MEXICO 88240
(575) 392-7918 TELE.
(575) 392-9114 FAX

| | |
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| SMM | PLR |
| Date: | Disk: |
| 8/4/21 | GENERAL |
| File Name: | Job No.: |
| ROADS | |

ORIGINAL DRAWING SIZE 24" X 36" .

September 21, 2021
Planning Board Regular Meeting

- 11) **Review 2nd Sketch Plan for property located southeast of the intersection of Joe Harvey & Central, as presented by Lemke Development.**

Variance required.

JP STONE BANK

—203'-6"

HUBBS DEDICATION

FUTURE
STEAK HOUSE

Suggest replatting so Lots 6-9 would not be burdened by the easement.

Joe Harvey

CENTRE POINTE
TOWNHOMES

30 - 30R, 2 1/2 BT 2CAR GARAGE
1307 SF HEATED
1865 SF UNDER ROOF
9 LOTS

September 21, 2021
Planning Board Regular Meeting

- 12) **Review Sketch Plan for property located northeast of the terminus of Calle Grande, as presented by Stuard Homes.**

Comments:
1. Max Block Length is 800'
2. Intersection should be 90 degrees.
No intersection should be less than 60 degrees
3. Project and align Del Norte Parkway

Major Intersection

Min. 35' frontage

This intersection needs to be closer to 90 and no intersection should be more than 60 degrees

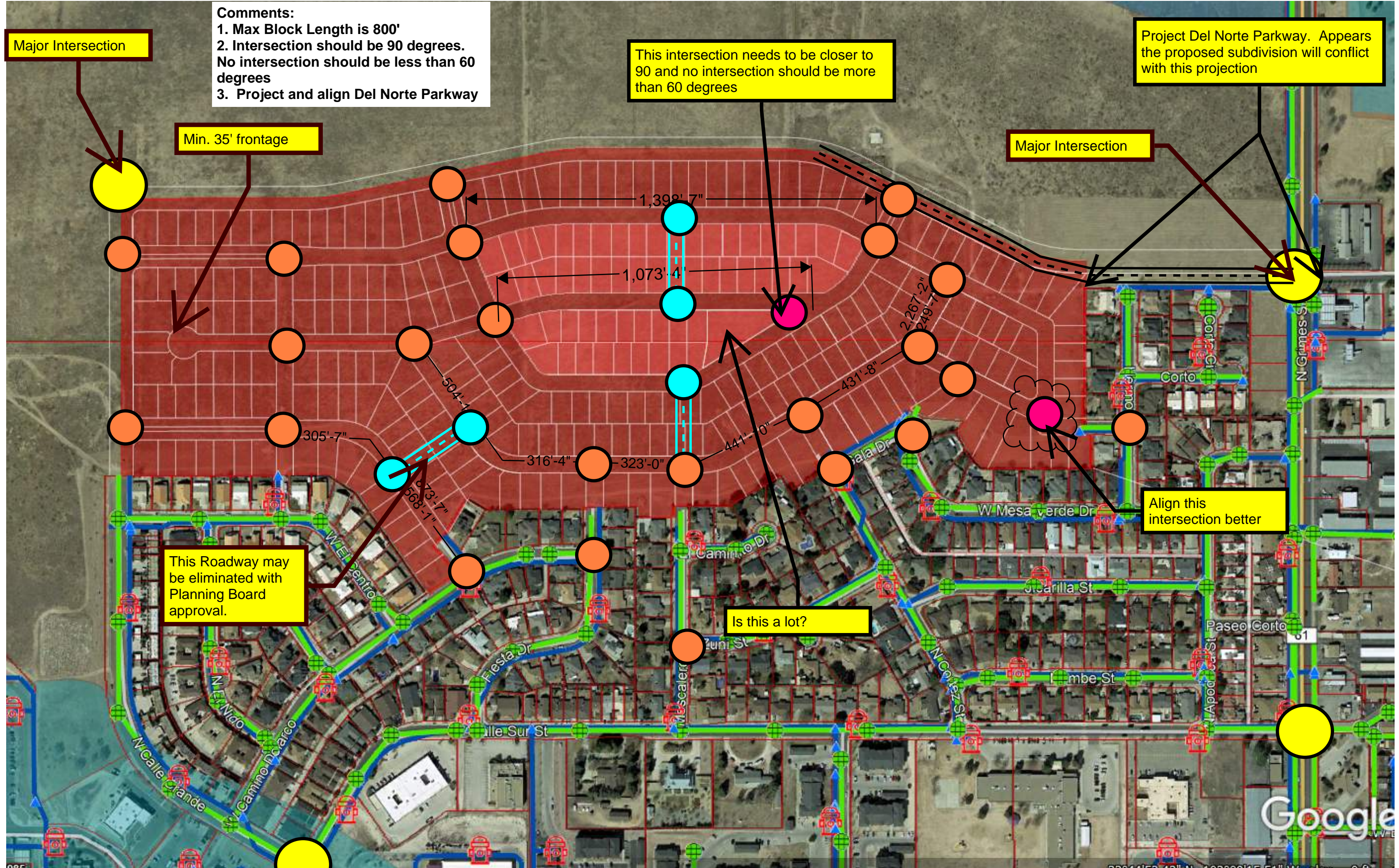
Project Del Norte Parkway. Appears the proposed subdivision will conflict with this projection

Major Intersection

Align this intersection better

This Roadway may be eliminated with Planning Board approval.

Is this a lot?



September 21, 2021
Planning Board Regular Meeting

- 13) Review Sketch Plan for property located northwest of the intersection of Alabama & Bensing, within the ETJ, as presented by property owner, Norris Land and Cattle Co.**

HIGH LONESOME ESTATES, UNIT FOUR

A TYPE TWO SUBDIVISION
DEVELOPER - JOHN NORRIS

SECTION 19, TOWNSHIP 17 SOUTH, RANGE 38 EAST,
N.M.P.M., LEA COUNTY, NEW MEXICO

LEGAL DESCRIPTION

That the subdivision shown hereon and hereby designated Unit 4 of the High Lonesome Estates, Lea County, New Mexico consisting of a tract of land conveyed to Norris Land and Cattle Co., L.L.C. as described in Book 1342, Page 344 of the Lea County Records and being more particularly described as follows:

The Southeast Quarter of Section 19, Township 17 South, Range 38 East, N.M.P.M., Lea County, New Mexico.

Said property is with the free consent and in accordance with the desires of the undersigned owners thereof surveyed and subdivided according to the tracts as they appear on the plat affixed hereon. This subdivision lies within the regulation jurisdiction of Lea County. All areas of land shown for public use, including streets and alleys, are hereby dedicated to the public use and fee vests in Lea County. As a condition of acceptance, the Subdivider agrees to construct at his own expense, all roads, streets, and alleys within, and provide access to, the subdivision in full conformance with the requirements of the Lea County Subdivision Regulations on the approved schedule of compliance and, if required, the phased development plan; and to sell or lease parcels only in accordance therewith.

There is hereby reserved by the previous owners of the sold land all of the oil, gas, and other minerals located therein and thereunder.

In witness thereof, the undersigned owner of the sold land, John Norris has hereunto set his hand this ____ day of _____, 2020.

John Norris for the Norris Land and Cattle Co.

STATE OF NEW MEXICO }
COUNTY OF LEA } ss

The Foregoing Instrument was Acknowledged before me this ____ day of _____, 2020
by John Norris.

My commission expires _____
Notary Public

CERTIFICATE OF APPROVAL LEA COUNTY PLANNING AND ZONING BOARD

Be it known that the plat of High Lonesome Estates Subdivision Unit 4 consisting of land situated as a proposed subdivision in Lea County, New Mexico was submitted to the Lea County Planning and Zoning Board, New Mexico assembled at a meeting on the ____ day of _____, 2020 A.D., and the subdivision as shown on the attached plat was thereupon approved and accepted by a majority of the members of the said board.

In witness whereof the Planning and Zoning Board of Lea County, New Mexico has caused this instrument to be signed on its behalf by its Chairman and attested by the County Clerk of Lea County, New Mexico on this ____ day of _____, 2020 A.D.

Attest: Planning and Zoning Board
Lea County, New Mexico

County Clerk

Chair

STATE OF NEW MEXICO }
COUNTY OF LEA } ss

The Foregoing Instrument was Acknowledged before me this ____ day of _____, 2015 by the above County Clerk and Chair of the Lea County Planning and Zoning Board.

My commission expires _____
Notary Public

CERTIFICATE OF APPROVAL LEA COUNTY COMMISSIONERS

Be it known that the plat of High Lonesome Estates Subdivision Unit 4, a Subdivision consisting of land situated as a proposed subdivision in Lea County, New Mexico, was submitted to the Commissioners of Lea County, New Mexico assembled at a meeting on the ____ day of _____, 2020 A.D., and the subdivision as shown on this plat was thereupon approved and accepted by a majority of the members of the said board.

In witness whereof the Commissioners of Lea County, New Mexico has caused this instrument to be signed on its behalf by its Chairman and attested by the County Clerk of Lea County, New Mexico on this ____ day of _____, 2020 A.D.

Attest: County Commissioners
Lea County, New Mexico

County Clerk

Chairman

STATE OF NEW MEXICO }
COUNTY OF LEA } ss

The Foregoing Instrument was Acknowledged before me this ____ day of _____, 2020 by the above County Clerk and Chairman of the Lea County Commissioners

My commission expires _____
Notary Public

CERTIFICATE OF APPROVAL BY THE CITY PLANNING BOARD

The Plat and Dedication approved and accepted the ____ day of _____, 2020 by the City Planning Board of Hobbs, New Mexico.

William Hicks - Chairman

STATE OF NEW MEXICO }
COUNTY OF LEA } ss

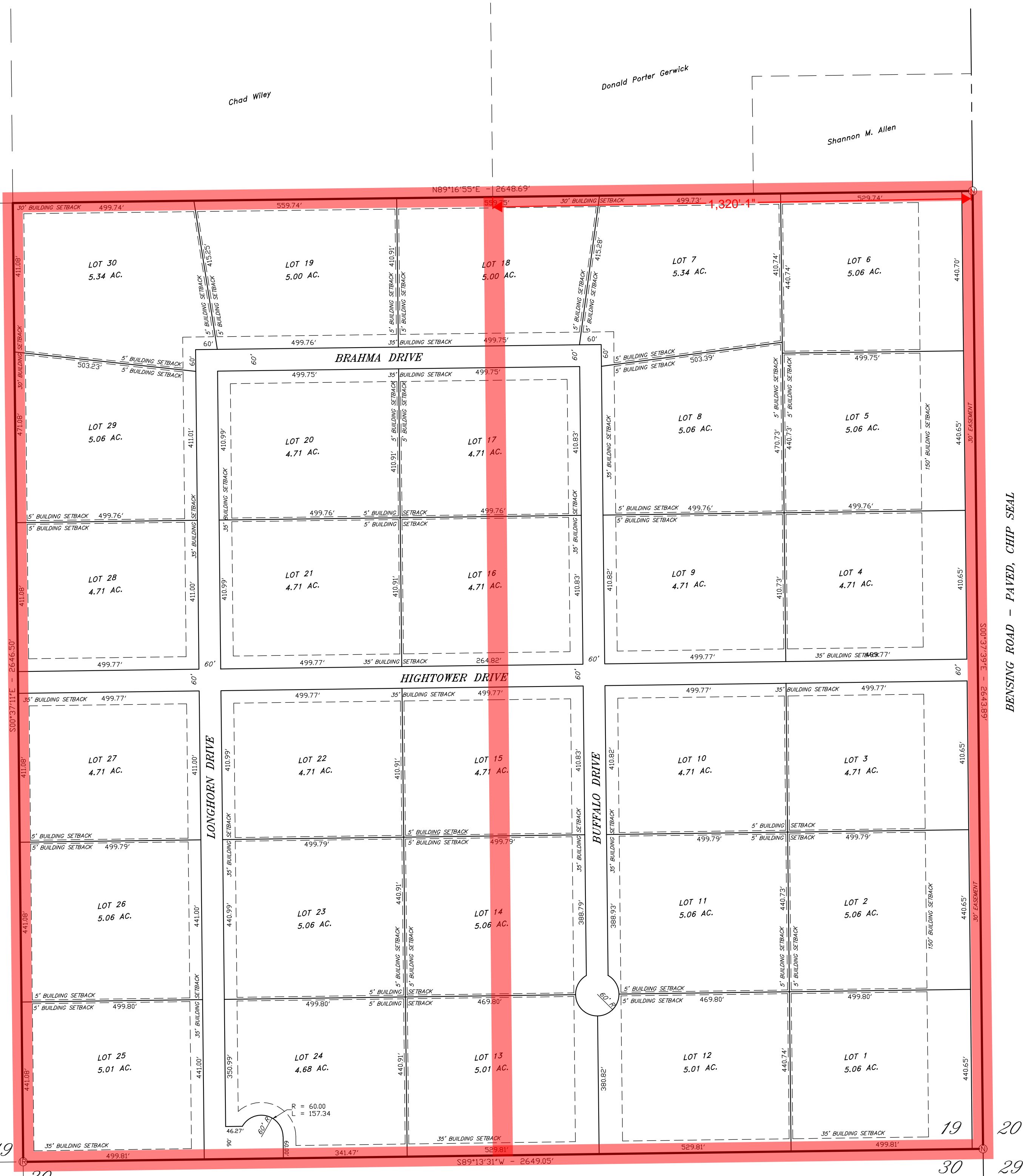
The Foregoing Instrument was Acknowledged before me this ____ day of _____, 2020 by William Hicks of the City of Hobbs Planning Board.

My commission expires _____
Notary Public

CERTIFICATE OF SURVEY

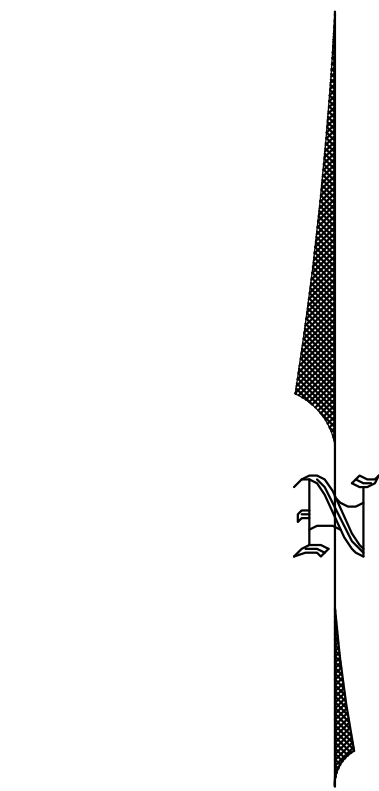
I hereby certify this plat to be a true copy of a survey made in the field under my supervision, and meets the requirements of the Minimum Standards of Surveying in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Surveyors. This is a survey plat of a Subdivision.
In witness whereof, I hereby set my hand and affix my official seal this ____ day of _____, 2020.

Gary L. Jones, N.M. P.S. 7977



BENSING ROAD - PAVED, CHIP SEAL

Preliminary



200 400 FEET
SCALE 1" = 200'

Prepared by
BASIN SURVEYS
1120 N. West County Rd.
Hobbs, New Mexico 88240
Ph: (575)393-7316 Fax: (575)392-2206
File: K10 - HIGH LONESOME UNIT 4 Date: 02-28-2020

STATE OF NEW MEXICO
COUNTY OF LEA
FILED

LEGEND

- - SET CORNER
- ⊗ - FND REBAR
- ⊙ - FND NAIL

NOTE:

- COORDINATES AND BEARINGS ARE BASED ON THE STATE PLANE COORDINATE SYSTEM (NAD 83), NEW MEXICO SOUTHEAST AND DISTANCES ARE OF SURFACE VALUE. MEASURED BEARINGS SHOWN ARE STATE PLANE.
- UTILITIES, BURIED AND ABOVE GROUND, MAY EXIST ON THESE TRACTS AND ARE NOT SHOWN ON THIS DRAWING. IT IS THE RESPONSIBILITY OF THE OWNER TO ASCERTAIN THEIR LOCATION. PRIOR TO ANY CONSTRUCTION, "ONE-CALL" MUST BE NOTIFIED. DRAIN PATHS ARE NOT SHOWN ON THIS DRAWING.



© 2021 Google

September 21, 2021
Planning Board Regular Meeting

DISCUSSION ITEMS

- 14) Review proposed reduction in front yard setback and off street parking requirements for proposed subdivision Liberty Hill.**

From: Kevin Robinson
Sent: Tuesday, September 7, 2021 9:18 AM
To: 'alberto.entrenchinc.com'
Cc: Todd Randall
Subject: Liberty Hill "Subdivision" Setback Variance
Attachments: (RL)Liberty Crossing Site Plan Proposed.pdf

Alberto - Liberty Crossing (I understand this is now Liberty Hill(?)) received "Preliminary Plan Approval on 2/16/2021, during the same meeting we discussed the possibility of a Subdivision Variance to the COH adopted setback requirements (see attached and below). Overall the Board did not indicate that they would be in favor of a reduced setback for the Subdivision as indicated below.

Excerpt from COH Planning Board minutes.

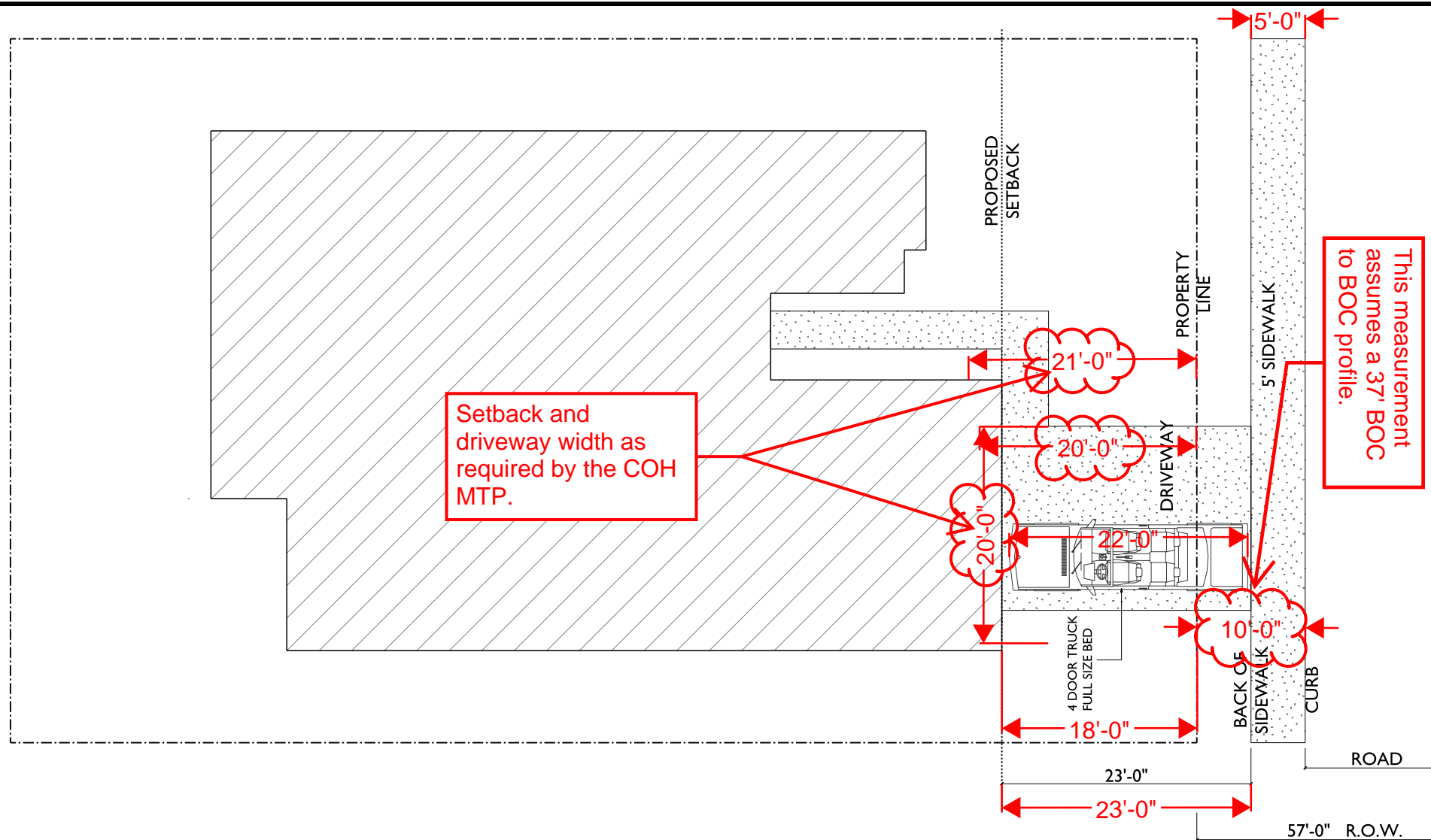
7) Discussion Items:

a) Review proposed reduction in front yard setback and off street parking requirements for an entire proposed subdivision.

Mr. Robinson said this item is from the development we were just discussing and it is a request to reduce the setback. He said the City of Hobbs setback is 21 feet on Minor Residentials and they are requesting an 18 foot setback for the entire subdivision. Mr. Robinson said staff displayed a drawing showing the difference in the setback. He said parking on the driveway would bring up the issue that the truck shown will not be fully on the owner's property. The truck will be located on part of the sidewalk. He said there will be no alleyways in this subdivision. So the utilities will be placed in the easement in front.

Mr. Kesner asked if they just couldn't move the garage back and move the house forward? Mr. Randall said he loved that ideal because once the garage setback is compromised it will continue to be that way. Mr. Kesner said there is another location at Fowler and Arriba where this has occurred and they are parking on the sidewalk. Mr. Sanderson asked if the developer said why they want this? He said he is reluctant to allow this unless there is a specific reason. Mr. Robinson said everyone wants as much square feet to the house as possible. Mr. Kesner said on an appraisal you get paid for the square footage and not the lot size. Mr. Hicks agreed and said he would be more inclined to do a setback on the house and not the garage. The Board agreed and the Final Plat will have the 21 foot setback on it for the garage.

Thanks,
Kevin Robinson
City of Hobbs
Planning Department
1.575.391.4111 Office
1.575.441.4360 Cellular



PROPOSED SETBACK:
23'-0" FROM BACK OF SIDEWALK
TO FRONT OF HOME

HOBBS
NEW MEXICO
STREET

LIBERTY
CROSSING

DRAWN BY:

PAGE:

SCALE: 0.0750" = 1'-0"

1/1

DATE: Thursday, November 19, 2020

SITE PLAN