

AGENDA
City of Hobbs Planning Board – Regular Meeting
October 20, 2020 at 10:00 AM

W.M. “Tres” Hicks, Chairman
Bill Ramirez
Brett Drennan
Larry Sanderson

Guy Kesner, Vice Chairman
Philip Ingram
Ben Donahue

Tentative Agenda for the Planning Board Regular Session Meeting to be held virtually by video conference on Tuesday, October 20, 2020 at 10:00 AM. To be broadcast live on KHBX FM 99.3 Radio and available via Livestream at www.hobbsnm.org.

AGENDA

- 1) Call To Order.**
- 2) Review and Consider Approval of Agenda.**
- 3) Review and Consider Approval of Minutes.**

September 15, 2020 – Regular Meeting

- 4) Communications from Citizens.**

Due to the current COVID-19 State of Emergency and the orders of the New Mexico Department of Health, public comment should be submitted in writing via email to the City of Hobbs Planning Department at krobinson@hobbsnm.org or via fax at (575-397-9227 no later than 9:30 a.m. on October 20, 2020.”

- 5) Public Hearing to Review and Consider a Special Use Map Amendment to create a Recreational Vehicle Park (RVP) Planning District per MC 18.04, located Northwest of the intersection of Navajo and Dal Paso at 500 E. Navajo.**
- 6) Review and Consider Final Plat Approval for Zia Crossing Unit 7, as submitted by property owner, Black Gold Estates, LLC.**
- 7) Review and Consider Final Plat Approval for Kass Glorietta, as submitted by property owner, Property Management Plus, LLC.**
- 8) Review and Consider Side Yard Setback Variance as submitted by property owner for property located at 2822 N. Carino.**
- 9) Review and Consider side yard setback and parking variance request for 101 E. Marland as submitted by Cardinal Laboratories, property owner.**
- 10) Second review Sketch Plan Liberty Hill 1 & 2 (primarily discuss Jefferson ROW)**
- 11) Second review Sketch Plan Ranchview Masterplan (primarily discuss Ranchland Alignment)**
- 12) Discussion Items:**
 - A. Illegal construction of a carport at 2704 N. Breckon.**
- 13) Adjournment.**

The City will make every effort to provide reasonable accommodations for people with disabilities who wish to attend a public meeting. Please notify the City at least 24 hours before the meeting. Telephone 397-9351.

“Notice is hereby given that a quorum of the Hobbs City Commission may be in attendance at this meeting.”

**PLANNING BOARD MEETING
MINUTES
September 16, 2020**

The Planning Board Regular Session Meeting was held virtually by video conference on Tuesday, September 16, 2020 at 10:00 AM. It was broadcasted live on KHBX FM 99.3 Radio and available via Livestream at www.hobbsnm.org. Mr. W.M. “Tres” Hicks Chairman presiding.

Members Present:

Tres Hicks, Chairman
Guy Kesner, Vice Chairman
Ben Donahue
Larry Sanderson

Members Absent

Brett Drennan
Philip Ingram
Bill Ramirez

Also present were members of the public and City staff as follows:

Kevin Robinson, Development Director
Julie Nymeyer, Staff Secretary

Todd Randall, City Engineer
Valerie Chacon, Assistant City Attorney

1) Call To Order.

Mr. Tres Hicks, Chairman called the meeting to order at 10:12 am. He did a roll call for members as follows: Mr. Hicks-yes, Mr. Ramirez-no, Mr. Drennan-no, Mr. Sanderson-yes, Mr. Ingram-no, Mr. Donahue-yes and Mr. Kesner-yes. There were four members present at the meeting and three absent.

2) Review and Consider Approval of Agenda.

The first item of business was to review and approve the Agenda for the September 16, 2020 meeting. Mr. Hicks asked if there were any changes to the agenda? Mr. Robinson said there were no changes.

Mr. Sanderson made a motion, seconded by Mr. Donahue to approve the agenda as presented. Mr. Hicks did a roll call for the vote, Mr. Kesner-yes, Mr. Sanderson-yes, Mr. Donahue-yes, Mr. Hicks-yes and the vote on the motion was 4-0 and the motion carried as presented.

3) Review and Consider Approval of Minutes.

August 18, 2020 – Regular Meeting

Mr. Hicks asked if everyone has had a chance to read the Regular Meeting Minutes from August 18, 2020? Mr. Kesner made a motion, seconded by Mr. Donahue to approve the Regular Meeting Minutes as presented. Mr. Hicks did a roll call for the vote, Mr. Kesner-yes, Mr. Donahue-yes, Mr. Sanderson-yes, and Mr. Hicks-yes and the vote on the motion was 4-0 and the motion carried as presented.

4) Communications from Citizens.

Due to the current COVID-19 State of Emergency and the orders of the New Mexico Department of Health, public comment should be submitted in writing via email to the City of Hobbs Planning Department at krobinson@hobbsnm.org or via fax at (575-397-9227 no later than 9:30 a.m. on September 16, 2020.

There were no communications from citizens.

5) Public Hearing to Review and Consider Modification of a Variance Granted to MC 18.04.060-B (RV Park Design Standards) within a proposed Recreational Vehicle Park, on a 10 +/- acre undivided parent parcel located southeast of the intersection of Aspen and N. Dal Paso on February 17, 2015.

Mr. Hicks said this is a Public Hearing to consider a Modification of a Variance granted. Mr. Robinson said this was a variance that was granted in 2017. He said the variance allowed the placements of modular units in an RV Park. He said modular units would have been coded a higher standard than a manufactured unit. He said that manufactured units are regulated by HUD and restricted to a single family. He said there will not be placements of non-coded units in this location. He said the developer understands they will be either HUD or IRC compliant.

Mr. Hicks asked about how the new variance would need to read? Mr. Robinson said this variance would allow manufactured units and not just modular units. Mr. Robinson said this variance is for a modular or manufactured homes that will be HUD or IRC compliant. Mr. Hicks asked if the spacing and lot sizes are all acceptable. Mr. Robinson said yes they are 35 feet x 90 feet which is in compliance.

Mr. Hicks opened the Public Hearing at 10:16 am. He said there was no comments from the

public or members. Mr. Kesner asked if manufactured homes were a more strict code? Mr. Robinson said no modular are a stricter code. Mr. Sanderson asked what the motivation was for doing the manufactured homes instead. Mr. Robinson said the modular units are more expensive and it is more expensive to hook up those units. He said because they are commercial coded they would have to have concrete slabs and an Engineering Plan. He said they wanted to put in manufactured on the 10 lots because of cost. Mr. Hicks closed the Public Hearing at 10:22 am.

Mr. Sanderson made a motion, seconded by Mr. Kesner to approve the amended variance to allow manufactured homes and modular homes to be placed in this RV Park. The vote on the motion was as follows; Mr. Kesner-yes, Mr. Donahue-yes, Mr. Sanderson-yes, Mr. Hicks-yes and the motion carried 4-0

6) Discussion Item

A) Discuss MC 15.36 and the National Flood Insurance Program Community Rating System.

Mr. Randall said this is a rating system that should be taken annually before the Board. He said FEMA administered a program to make flood insurance available to communities who agree to adopt and enforce floodplain management regulations. The Community Rating System provides an incentive to implement programs which exceed the NFIP minimum criteria.

Mr. Randall said the City of Hobbs is currently participating in the CRS program to bring affordable flood insurance to our community. He said the City of Hobbs is ranked at a Class 8 and is saving residents 10% on flood insurance.

Mr. Randall said the purpose of NFIP is to reduce emphasis on flood control and increase emphasis on floodplain management and reduce Federal disasters costs and shift burden from general taxpayers to floodplain occupants. He said any property can purchase flood insurance and it does not have to be in a flood zone. He said the total premiums for residents in the City of Hobbs is approximately \$500,000. He said about every 2 to 5 years there is a type of audit that checks on elevation certificates and new construction.

Mr. Randall said there are several areas around town that have been made into retention ponds especially in new construction areas. He said in every new area flood studies have been required. Mr. Hicks asked if we have in ICIP an item for drainage study? Mr. Randall said there is budget in Drainage Master Plan Improvements of \$486,000 for this. Mr. Hicks said they have paid \$500,000 a year for several years and have only gotten \$800,000 in claims out of it. He asked if there were improvements made could they get people out of flood zones or cut down on the premiums? Mr. Randall said a lot of the properties may be repetitive loss because they are in too low of an area. He said in major flooding in Hobbs it is not complete structures taken down but wet carpets. He said we do a good job with new structures but not as good in existing areas. He said the city could purchase properties and make retention areas. Mr.

Kesner said that it almost doesn't make sense to spend \$500,000 a year if it does not change home owner's premiums. Mr. Hicks said unless we use the money to purchase properties in flood areas to stop premiums and help the area.

Mr. Hicks said this in information only and no action to be taken.

7) **Adjournment.**

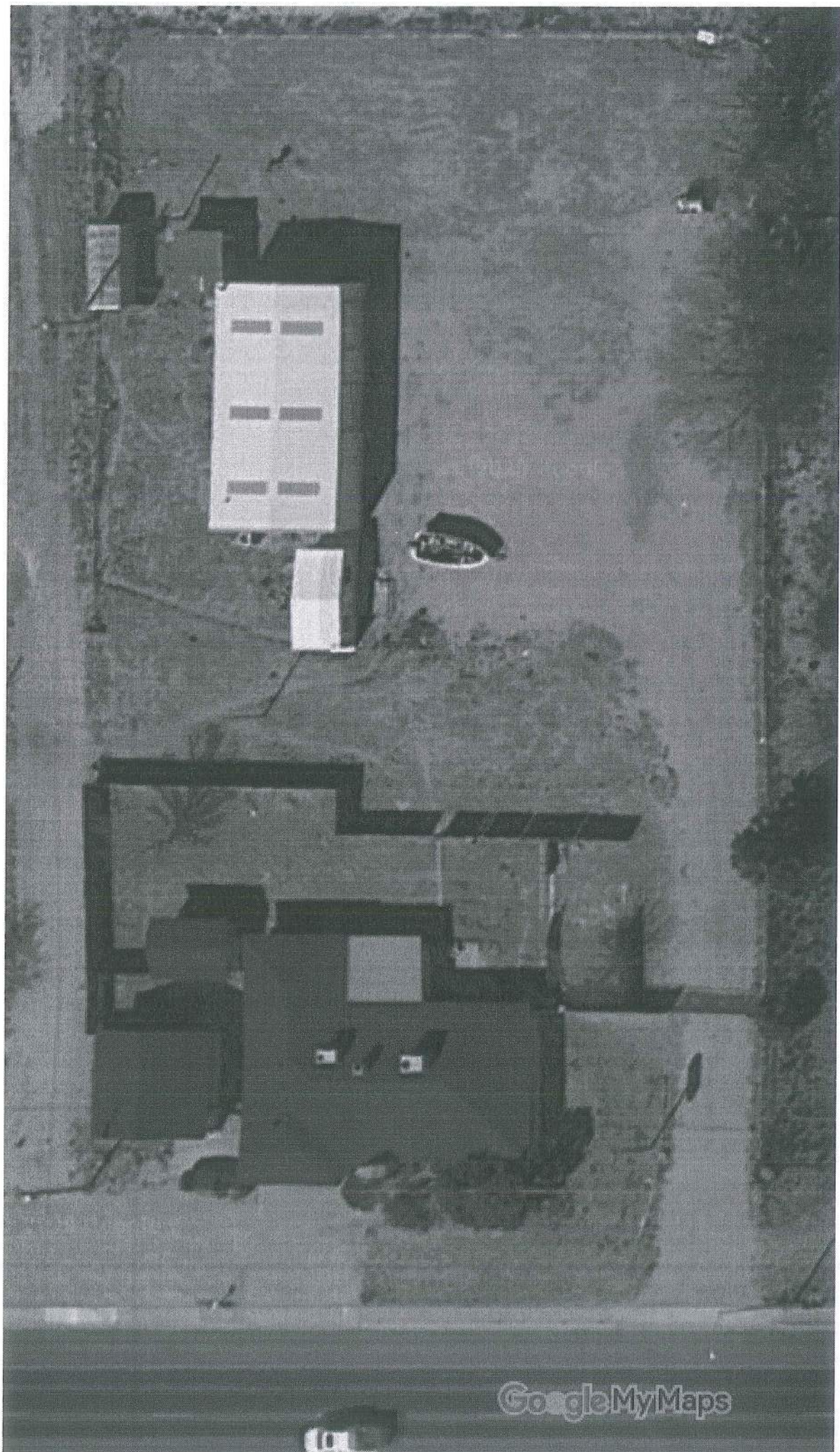
With nothing further to discuss Mr. Sanderson made a motion, seconded by Mr. Donahue to adjourn the meeting at 10:43 am. Mr. Hicks did a roll call vote Mr. Sanderson-yes, Mr. Donahue-yes, Mr. Kesner-yes and Mr. Hicks-yes and the meeting was adjourned.

October 20, 2020
Planning Board Regular Meeting

5) Public Hearing to Review and Consider a Special Use Map Amendment to create a Recreational Vehicle Park (RVP) Planning District per MC 18.04, located Northwest of the intersection of Navajo and Dal Paso at 500 E. Navajo.

Luis & Carmen Aranda
500 E. Navajo Dr.
575-263-4360
575-605-1462

We would like to start a Rv park at 500 E Navajo Dr. We would like for our family members from out of town to have a place to park their Rv's when they are working here in Hobbs. We are wanting to have 4 to 6 Rv's spots.



Google MyMaps

10



PLANNING DIVISION

200 E. Broadway St.
575-397-9351 bus
Hobbs, NM 88240
575- 397-9227 fax

City of Hobbs, New Mexico

October 1, 2020

**RE: REQUEST TO AMEND THE PLANNING DISTRICT MAP -- SPECIAL USE PERMIT
PROPOSED ALLOWING A RECREATIONAL VEHICLE PARK TO BE LOCATED AT 500
E. NAVAJO.**

Dear Property Owner:

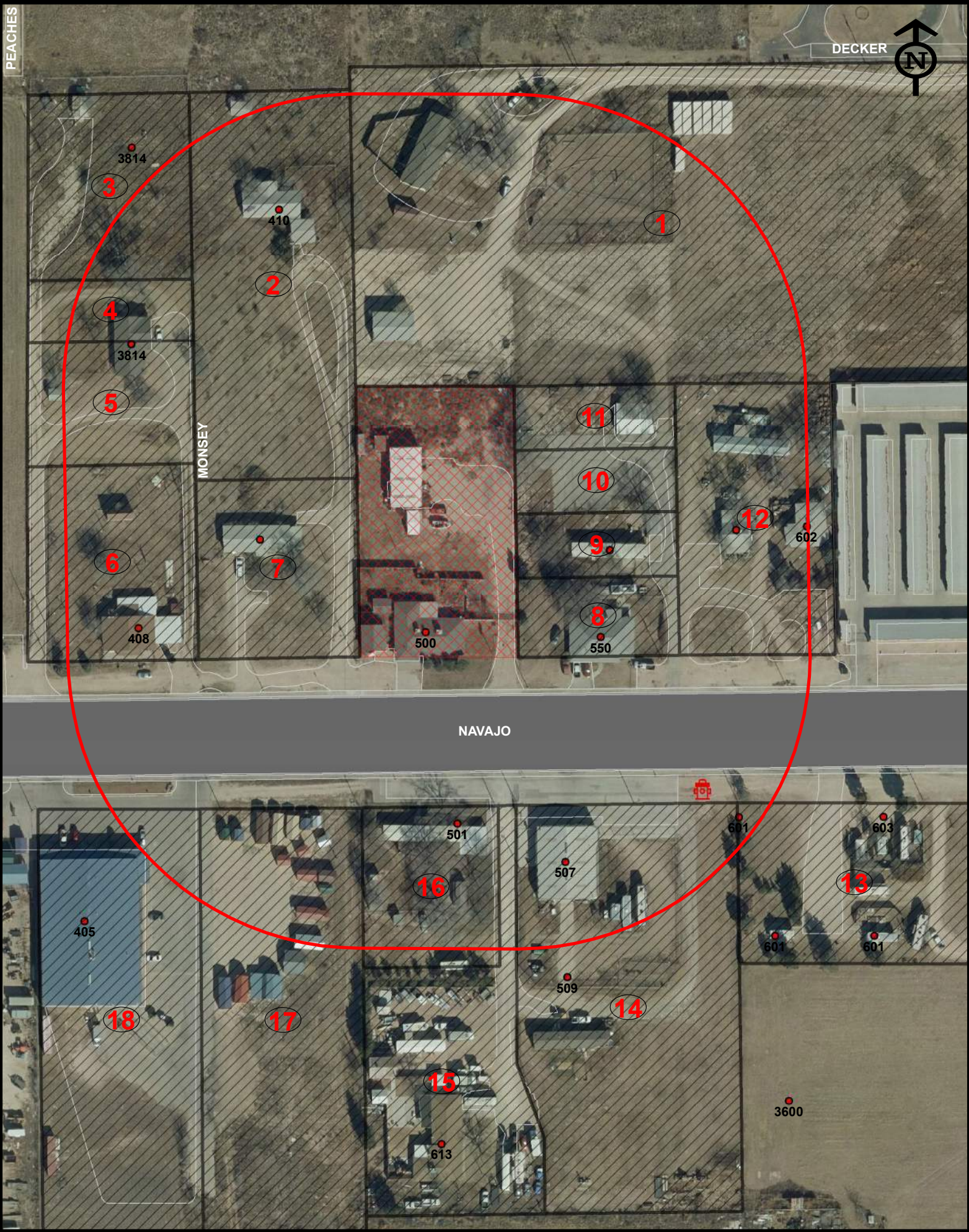
The City of Hobbs has received a request to amend the Planning District Map and issue a special use permit to allow a proposed Mobile Home Park on the 1.03 +/- acre parcel located at 500 E. Navajo (see attached map). As a property owner you are being notified of the developer's intent to construct a Recreation Vehicle Park on the aforementioned parcel. The City Planning Board will be reviewing this issue on October 20, 2020, on the first floor of the City Annex Building at 200 E. Broadway, at 10:00 a.m., in the City of Hobbs Commission Chambers. This notice is being sent to you as a property owner within the notification boundaries per Municipal Code 18.04, requiring notification of district map amendments and special use permits.

If you have questions, or comments, please notify the City Planning Division at the above address, or call the office at (575)397-9232.

Sincerely,

THE CITY OF HOBBS, NEW MEXICO


Kevin Robinson – Planning Department



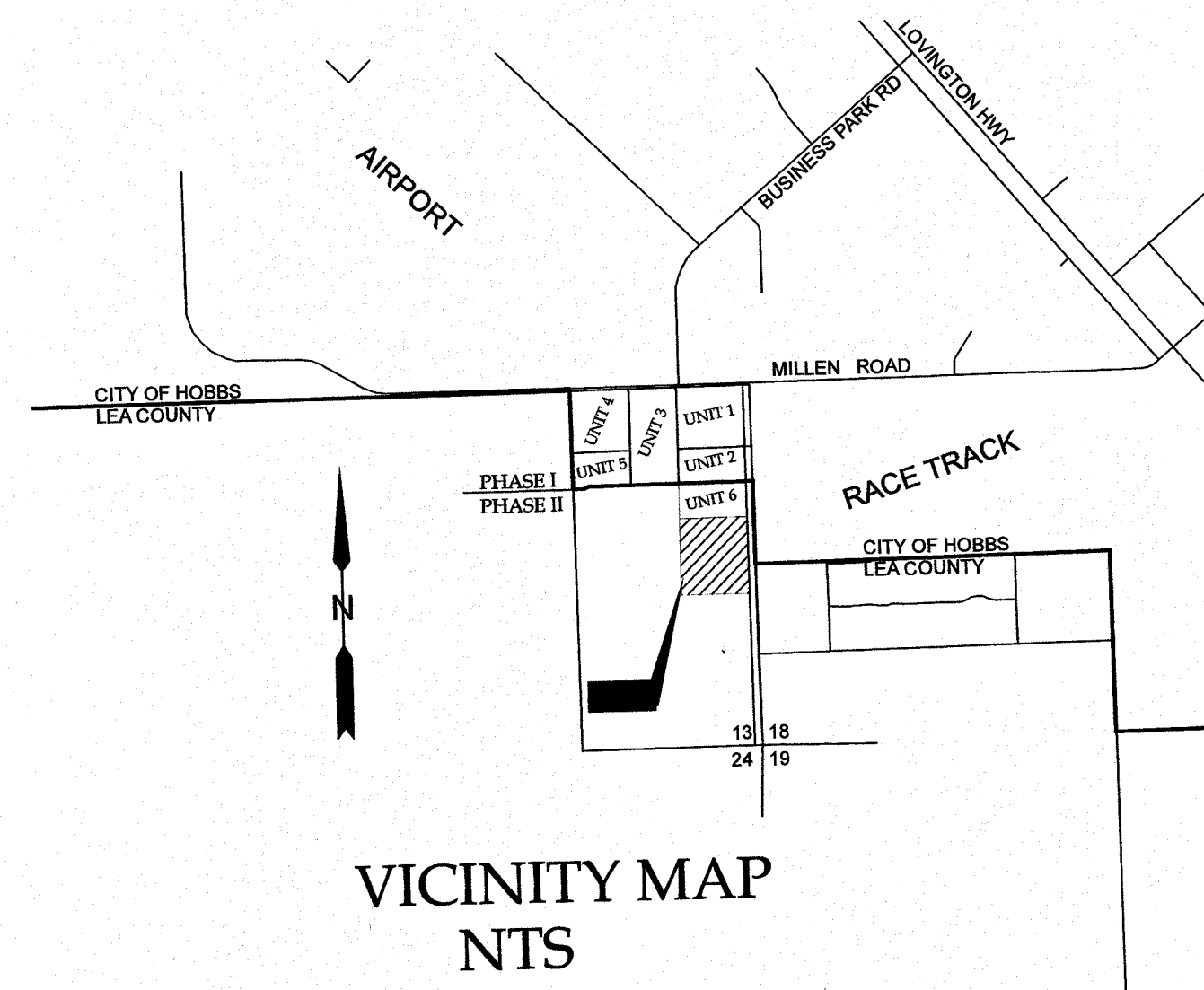
NUMBER	NAME	ADD2	CITY	STATE	ZIP
1	ANKERHOLZ RICK	PO BOX 995	HOBBS	NM	88241
2	BROTHERS MICHAEL T	P O BOX 3033	HOBBS	NM	88240
3	DAVIS FLOYD R	550 EAST NAVAJO	HOBBS	NM	88240
4	CJT CHARITY LLC	525 SHOREVIEW	ROCKWALL	TX	75087
5	CJT CHARITY LLC	525 SHOREVIEW	ROCKWALL	TX	75087
6	PHAM HUNG V	408 E NAVAJO	HOBBS	NM	88240
7	BROTHERS MICHAEL T	P O BOX 3033	HOBBS	NM	88240
8	DAVIS, FLOYD R	550 EAST NAVAJO	HOBBS	NM	88240
9	UNCLEAR				
10	UNCLEAR				
11	ANKERHOLZ RICK	PO BOX 995	HOBBS		88241
12	J & R VENTURES LLC	607 TUCKER	HOBBS	NM	88242
13	SKYVIEW TERRACE LP	901 PENNSYLVANIA ST	NALBUQUERQUE	NM	87110
14	HILL DONNIE	1331 W CALLE SUR	HOBBS	NM	88240
15	STYTZ JANET	1300 E BENDER	HOBBS	NM	88240
16	HILL DONNIE	1331 W CALLE SUR	HOBBS	NM	88240
17	CRAIG FAMILY ENTERPRISES LLC	PO BOX 67	WOLFFORTH	TX	79382
18	L4 INVESTMENTS LLC	727 E BAJA	HOBBS	NM	88240

October 20, 2020
Planning Board Regular Meeting

- 6) Review and Consider Final Plat Approval for Zia Crossing Unit 7, as submitted by property owner, Black Gold Estates, LLC.**

ZIA CROSSING SUBDIVISION PHASE II, UNIT 7

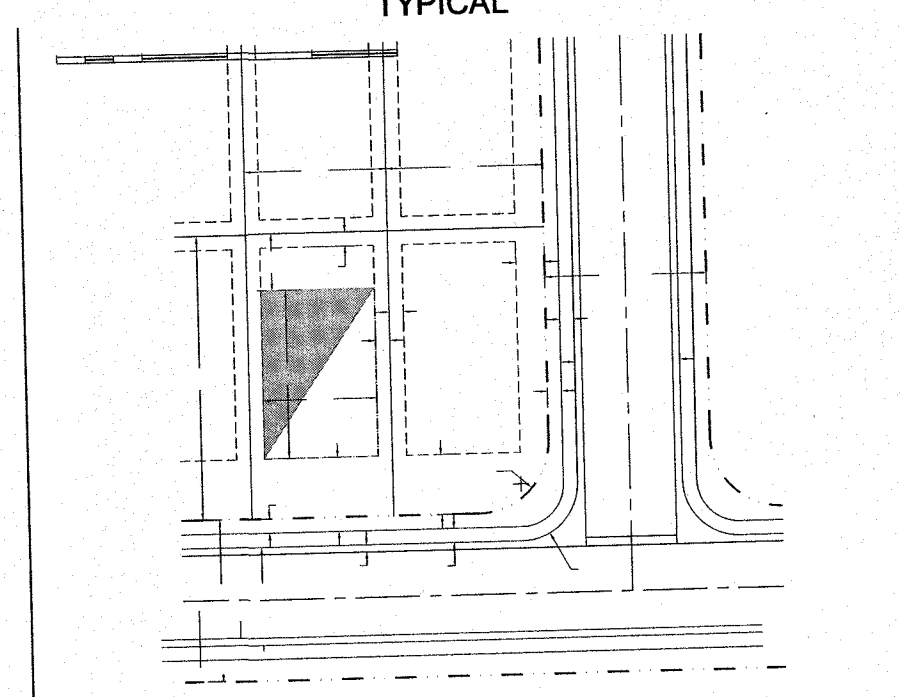
CITY OF HOBBS, LEA COUNTY, NEW MEXICO



NOTES:

1. SET 1/2" REBAR WITH PLASTIC CAP MARKED LS 8685 AT ALL CORNERS AND BEGINNING AND END OF CURVES.
2. SEE PLAT # 15243 RECORDED IN LEA COUNTY
3. LOT SIDE SET BACK LINES ARE 5.0 FEET EXCEPT ALONG RIGHTS- OF-WAY, WHERE 10.00 FOOT SIDE SETBACK LINES APPLY. LOT FRONT SETBACK LINES ARE 21.00 FEET.

TYPICAL



BASIS OF BEARINGS:

THE BASIS OF BEARINGS FOR THIS PLAT IS THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 13, T.18 S., R.37 E., N.M.P.M., BETWEEN THE FOUND MONUMENTS AS DESCRIBED IN THE CITY OF HOBBS GPS SURVEY REPORT AS #143 AT THE N1/4 CORNER AND #144 AT THE NE CORNER OF SAID SECTION 13.

i.e. N 89°26'36" E - 2642.09'

ALL DISTANCE SHOWN HEREON ARE GROUND VALUES

PHASE II - UNIT 7 DESCRIPTION and DEDICATION

ALL THAT PORTION OF THE NORTHEAST 1/4 OF SECTION 13, TOWNSHIP 18 SOUTH, RANGE 37 EAST, N.M.P.M., LEA COUNTY, NEW MEXICO, DESCRIBED AS FOLLOWS;

BEGINNING AT A POINT FROM WHICH THE EAST 1/4 CORNER OF SAID SECTION 13 BEARS S 08°47'37" E A DISTANCE OF 707.30 FEET AND ALSO FROM WHICH THE NORTH 1/4 CORNER OF SAID SECTION BEARS N 53°05'23" W A DISTANCE OF 3207.46 FEET;
THENCE S 00°39'53" W A DISTANCE OF 1129.40 FEET ;
THENCE S 00°00'00" W A DISTANCE OF 1001.91 FEET ;
THENCE N 00°10'43" W A DISTANCE OF 1119.16 FEET ;
THENCE N 89°28'22" E A DISTANCE OF 825.35 FEET ;
THENCE N 88°41'22" E A DISTANCE OF 57.00 FEET;
THENCE N 89°20'07" E A DISTANCE OF 110.00 FEET TO THE POINT OF BEGINNING, AND HAVING AN AREA OF 25.73 ACRES, MORE OR LESS.

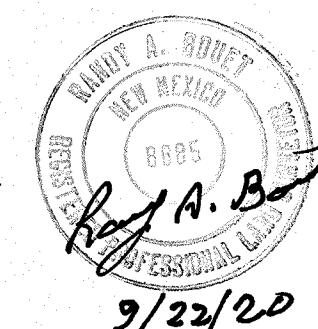
SUBDIVIDED AS THE SAME APPEARS HEREON, WITH ALL RIGHTS-OF-WAY AS SHOWN HEREON DEDICATED TO THE PUBLIC, COMPRISING ZIA CROSSING SUBDIVISION, PHASE II, UNIT 6, TO THE CITY OF HOBBS, WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND PROPRIETORS THEREOF, NOTICE IS HEREBY GIVEN THAT THERE HAS BEEN FILED IN THE OFFICE OF THE COUNTY CLERK OF LEA COUNTY, NEW MEXICO, CERTAIN RESTRICTIVE COVENANTS APPLICABLE TO THE ABOVE DESCRIBED PROPERTY, WHICH SAID COVENANTS ARE RECORDED ON PAGE _____ OF BOOK _____, MISCELLANEOUS RECORDS OF SAID COUNTY.

SURVEYORS CERTIFICATE:

I, RANDY A. BOUET, A NEW MEXICO REGISTERED PROFESSIONAL SURVEYOR, CERTIFY THAT I CONDUCTED AND AM RESPONSIBLE FOR THIS SURVEY, THAT THIS SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT THIS SURVEY AND THE PLAT MEET THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO.

Randy A. Bouet
RANDY A. BOUET, N.M.P.L.S. 8685

9/22/20
DATE



CERTIFICATE OF MUNICIPAL APPROVAL:

STATE OF NEW MEXICO)
COUNTY OF LEA)

I, JAN FLETCHER, THE DULY APPOINTED AND ACTING CITY CLERK OF THE CITY OF HOBBS, LEA COUNTY, NEW MEXICO, DO HEREBY CERTIFY THAT THE FOREGOING PLAT OF THE ZIA CROSSING SUBDIVISION, PHASE II, UNIT 7, WAS APPROVED BY THE COMMISSION OF THE CITY OF HOBBS BY RESOLUTION No. _____ ON THE _____ OF _____, 2020 A.D.

JAN FLETCHER, CITY CLERK

CERTIFICATE OF APPROVAL BY THE CITY PLANNING BOARD:

THE PLAT, RESTRICTIONS AND DEDICATION APPROVED AND ACCEPTED THE _____ DAY OF _____, 2020 A.D.
BY THE CITY PLANNING BOARD OF HOBBS, NEW MEXICO.

CHAIRMAN: WILLIAM M. HICKS III

ACKNOWLEDGMENT :

STATE OF NEW MEXICO)
COUNTY OF LEA)

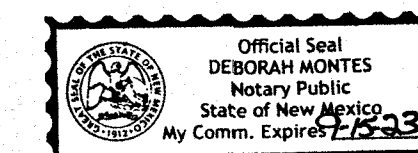
ON THIS 16 DAY OF October, 2020, BEFORE ME PERSONALLY APPEARED DANIEL W. DATTOLA, AGENT FOR BLACK GOLD ESTATES, LLC, TO ME KNOWN TO BE THE PERSON(S) DESCRIBED IN AND WHO EXECUTED THE SAME AS THEIR FREE ACT AND DEED. Daniel W. Dattola

WITNESS MY HAND AND OFFICIAL SEAL THE DAY AND YEAR LAST ABOVE WRITTEN.

MY COMMISSION EXPIRES:

September 15, 2023

Deborah Montes
NOTARY PUBLIC



FOUR CORNERS SURVEYING, INC.
21150 COUNTY ROAD U, CORTEZ, CO 81321
970-882-4241

DRAWN RAB	DATE 7/15/2020	ZIA CROSSING SUBDIVISION PHASE II, UNIT 7 CITY OF HOBBS, NEW MEXICO
APPROVED	DATE	
SCALE NOT TO SCALE	SHEET 1 OF 2	PROJECT NO. 925UNIT7TITLESHEET

LEA COUNTY SEAL

STATE OF NEW MEXICO
COUNTY OF LEA
FILED: _____, 2020

AT _____ O'CLOCK _____ M
AND RECORDED IN:

BOOK _____ PAGE _____

PAT CHAPPELLE
LEA COUNTY CLERK

BY: _____ DEPUTY

ZIA CROSSING SUBDIVISION PHASE II, UNIT 7 = 99 LOTS

TOTAL ACREAGE = 25.73 AC.

N1/4 CORNER SECTION 13
FOUND CONCRETE
MONUMENT WITH
BRASS DISK

BLACK GOLDESTATES, LLC

GREY GHOST ROAD

UNIT 6

KING KELLY ROAD

BIG CY ROAD

UNIT 7

MIGHTY ATOM ROAD

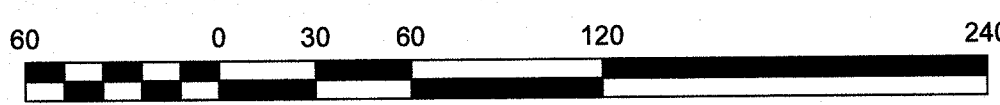
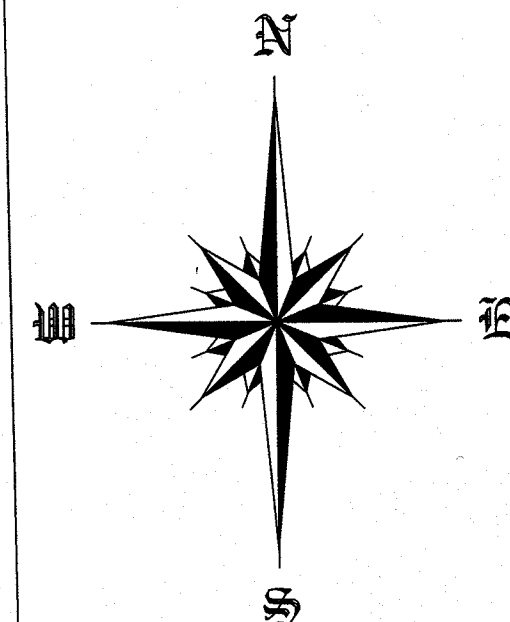
MIGHTY ATOM CIRCLE

THE COUNT ROAD

ZIAPARK LLC

MUNICIPAL INFRASTRUCTURE CORRIDOR

TIE TO
1/4 CORNER SECTION 13
FOUND CONCRETE
MONUMENT WITH
BRASS DISK



LEGEND:
THESE STANDARD SYMBOLS MAY BE FOUND IN THE
DRAWING.

POINT AS DESCRIBED HEREON

SUBDIVISION BOUNDARY

CENTERLINE OF ROAD

SET 1/2" REBAR WITH PLASTIC CAP LS8685
AT ALL CORNERS AND BEGINNING AND END
OF CURVES

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	39.42'	25.00'	90°20'55"	S 45°21'11" E	35.46'
C2	39.33'	25.00'	90°08'15"	S 44°24'14" W	35.40'
C3	39.21'	25.00'	89°51'45"	N 45°35'46" W	35.31'
C4	39.12'	25.00'	89°39'05"	N 44°38'49" E	35.25'
C5	39.42'	25.00'	90°20'55"	S 45°21'11" E	35.46'
C6	39.33'	25.00'	90°08'15"	S 44°24'14" W	35.40'
C7	39.21'	25.00'	89°51'45"	N 45°35'46" W	35.31'
C8	39.12'	25.00'	89°39'05"	N 44°38'49" E	35.25'
C9	39.42'	25.00'	90°20'55"	S 45°21'11" E	35.46'
C10	39.33'	25.00'	90°08'15"	S 44°24'14" W	35.40'
C11	39.21'	25.00'	89°51'45"	N 45°35'46" W	35.31'
C12	39.12'	25.00'	89°39'05"	N 44°38'49" E	35.25'
C13	39.42'	25.00'	90°20'55"	S 45°21'11" E	35.46'
C14	39.12'	25.00'	89°39'05"	N 44°38'49" E	35.25'
C15	39.42'	25.00'	90°20'55"	S 45°21'11" E	35.46'
C16	39.12'	25.00'	89°39'05"	N 44°38'49" E	35.25'
C17	39.42'	25.00'	90°20'55"	S 45°21'11" E	35.46'
C18	39.12'	25.00'	89°39'05"	N 44°38'49" E	35.25'
C19	39.19'	25.00'	89°48'49"	N 45°05'08" W	35.30'
C20	39.56'	25.00'	90°40'21"	N 44°40'17" E	35.56'
C21	38.98'	25.00'	89°19'39"	N 45°19'43" W	35.15'
C22	13.75'	20.00'	39°24'06"	N 19°31'15" E	13.48'
C23	7.10'	35.00'	11°37'24"	N 33°24'41" E	7.09'
C24	47.66'	35.00'	78°00'49"	N 11°24'25" W	44.02'
C25	58.79'	35.00'	96°14'03"	S 1°28'09" W	52.12'
C26	1.63'	35.00'	02°40'08"	S 33°21'07" W	1.63'
C27	20.52'	20.00'	58°47'23"	N 60°04'40" E	16.63'
C28	20.54'	20.00'	58°50'03"	S 61°06'37" E	19.65'
C29	62.47'	35.00'	102°15'55"	N 82°49'33" W	54.50'
C30	45.67'	35.00'	74°45'49"	S 08°39'35" W	42.50'
C31	6.63'	35.00'	10°51'25"	S 34°09'02" E	6.62'
C32	13.75'	20.00'	39°24'02"	N 19°52'44" W	13.48'

ZIA CROSSING PARKWAY = 80' ROW
KING KELLY ROAD = 57' ROW
GREY GHOST ROAD = 57' ROW
BACKSTRETCH ROAD = 57' ROW
BIG CY ROAD = 57' ROW
MIGHTY ATOM ROAD = 57' ROW
THE COUNT ROAD = 80' ROW
MIGHTY ATOM CIRCLE = 57' ROW

LINE	BEARING	DISTANCE
L1	N 45°12'30" E	14.92'

FOUR CORNERS SURVEYING, INC.
21150 COUNTY ROAD U, CORTEZ, CO 81321
970-882-4241

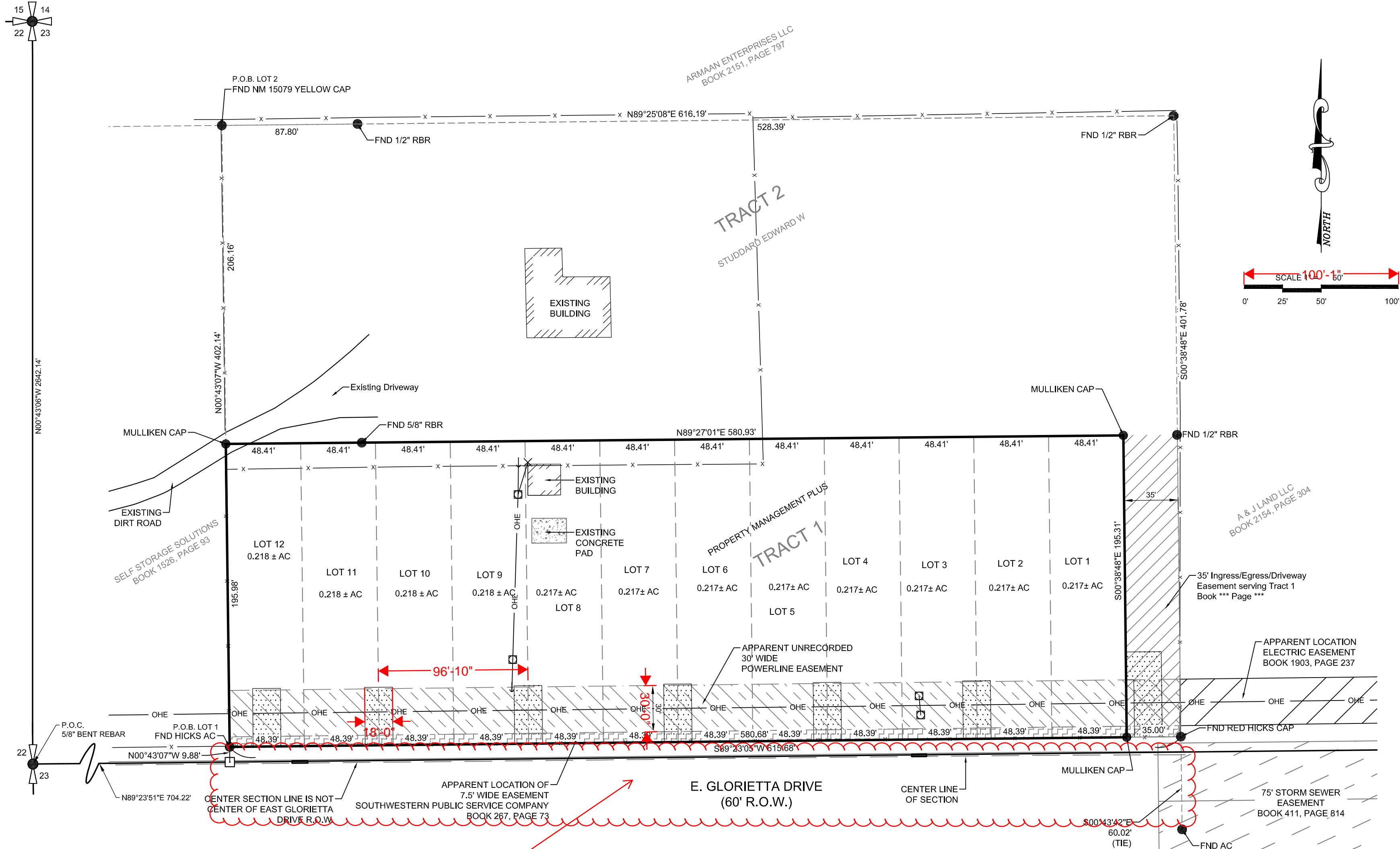
DRAWN	DATE	ZIA CROSSING SUBDIVISION
RAB	7/15/2020	PHASE II, UNIT 7
APPROVED	DATE	CITY OF HOBBS, NEW MEXICO
SCALE	SHEET	PROJECT NO.
1" = 60'	2 OF 2	925UNIT7SHT2REVA2

October 20, 2020
Planning Board Regular Meeting

- 7) **Review and Consider Final Plat Approval for Kass Glorietta, as submitted by property owner, Property Management Plus, LLC.**

KASS GLORIETTA SUBDIVISION

A CITY OF HOBBS **Subdivision** OF LOT 1, KASS GLORIETTA SUMMARY SUB, DESCRIBED IN BOOK 2168, PAGE 694,
LOCATED IN THE SW 1/4 OF THE NW1/4 OF SECTION 23, T18S, R38E, N.M.P.M., CITY OF HOBBS, LEA COUNTY, NEW MEXICO

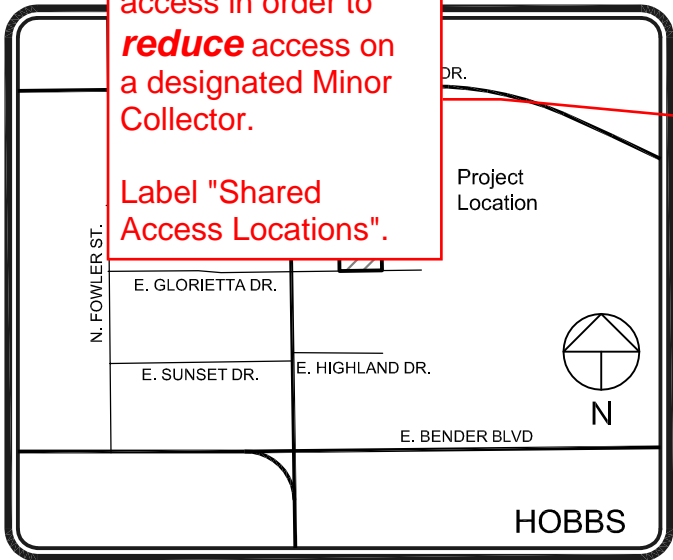


BASIS OF BEARING

The basis of bearing for this survey is Grid North based on the New Mexico State Plane Coordinate System, East Zone, as derived by GPS/GNSS observations. Ground coordinates were obtained from the State Plane Coordinate System by scaling about a control point located at N32°43'58.666732", W103°07'34.89745" by a grid to ground scale factor of 1.0001175664592. True north can be obtained by applying a convergence angle of 0°39'09.8" at this Control Point.

Depict all public infrastructure. (Curb, Gutter Road, Water, Sewer and Storm Sewer)

Proposed shared access in order to reduce access on a designated Minor Collector.
Label "Shared Access Locations".



VICINITY MAP
N.T.S.

LEGEND

	Found or recovered monument as noted		Flowline
	Found section corner		Top Back of Curb
	Found quarter section corner		Adjacent Lot line
	Set 5/8" rebar with orange plastic cap marked "MULLIKEN NMPS"		Proposed Driveway
	Section line		30' Wide Unrecorded Easement
	Property line		7.5' Wide Easement
	Easement line		Ingress/Egress Driveway Easement Serving Tract 1 (Lot 12)
	Fence		Measured Bearing and Distance
	Overhead Electric Line		Record Bearing and Distance
	Lot lines		



ENGINEERING | SURVEYING | TESTING
DEFINING QUALITY SINCE 1965

100 E. Navajo - Suite 100, Hobbs New Mexico 88240
T 575 393 9827 F 575 393 1543
Pettigrew.us

PROJECT SURVEYOR: R. Mulliken
DRAWN BY: V. Munoz, K. Bolivar



INDEXING INFORMATION FOR COUNTY CLERK

OWNER:
Property Management Plus, LLC
LOCATION:
Section 23, T18S, R38E,
N.M.P.M., City of Hobbs,
Lea County, New Mexico

REVISIONS

No.	DATE	DESCRIPTION

State of New Mexico, County of _____,
I here by certify that this instrument was filed for
record on:

The _____ Day of _____,
20 ____ A.D.
At _____ O'Clock _____ M.
Cabinet _____ Slide _____
Book _____ Page _____
By _____
County Clerk
By _____
Deputy

Plat
OF
Kass Glorietta Subdivision
No. 2
FOR
Property Management Plus, LLC

PROJECT NUMBER:
2020.1183

SHEET: 1 of 2
SU - 101

October 20, 2020
Planning Board Regular Meeting

- 8) Review and Consider Side Yard Setback Variance as submitted by property owner for property located at 2822 N. Carino.**



VARIANCE APPLICATION

Application Date: 9-15-2020

Variance for (circle one): front yard / side yard

Property Owner: 1564 RDOT BUILDERS LLC Phone: 575-441-3203

Address of proposed structure: 2822 N. CARDINO AVE.

Subdivision (if known): TRIOGLEWOOD Lot & Block # (if known): LOT 8, UNIT 4

Type of proposed structure: NEW HOME Dimensions of proposed structure: 64 X 99

Are subdivision covenants and/or deed restrictions available? YES If so, please attach a copy.

The existing ~~front~~/side setback for the structure at the above address is 10 feet. If the variance is approved, the new ~~front~~/side setback with the front improvement will be 8'6" feet.

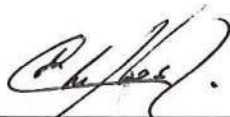
* The Planning Board of the City of Hobbs has established a procedure to require each applicant for a setback variance to notify property owners within 150 feet of the proposed improvement. In addition, front-yard setbacks of less than 10' for buildings (excluding carports) are generally not permitted.

Addresses of existing carports in vicinity (if any):

Please attach the following documents:

- Copy of Building Permit Application.
- Sketch Plan showing dimensions of existing and proposed improvements and distances from proposed improvement to sidewalk, curb, and/or edge of street.
- Copy of Covenants and/or Deed Restrictions, if any.
- Signature Sheet containing signatures of adjacent property owners within 150 feet of above referenced lot.

Return completed form to:
City-Hall - Planning Division
200 E. Broadway St.
Hobbs, NM 88240
P: 575-397-9232
F: 575-397-9227


Property Owner Signature

Date

CITY OF HOBBS, NM
PLANNING DIVISION
VARIANCE APPLICATION
(To Front and/or Side Yard Setback Requirement)
Adjoining Property Owner Notification

Note: The Planning Board of the City of Hobbs has established a procedure to require each applicant for a front or side yard setback variance to notify property owners within 150 feet of the proposed improvement. In addition, front-yard setbacks of less than 10' for buildings (excluding carports) are generally not permitted.

Date: 9-15-2020

Applicant: ALSO POOL BUILDERS LLC Phone: 575-441-3203

Neighboring Property Owner:

For your information, a variance application has been submitted to build a structure in the front or side setback at:

Applicant address: 3311 N. GRUES ST.

Address of proposed structure: 2822 N. CARNO AVE.

Subdivision (if known): TANGLEWOOD Lot & Block # (if known): LOT 5, UNIT 4

Type and dimensions of proposed structure (see attached drawing for details): _____

The existing front/side setback for the structure at the above address is 10 feet. If the variance is approved, the new front/side setback with the front/side improvement will be 8'6" feet.

If any adjoining property owner has questions, please call the Planning Division at 397-9351. The City reserves the right to contact adjacent property owners to verify accuracy of signatures.

Signatures of adjoining property owners and acknowledgement of request:

Adjacent Property Owner Name(s)	Address	Signature(s)	Phone#	Do you support request? Y / N
ALSO DEVELOPMENT	2821 N. CARNO			
ALSO DEVELOPMENT	2903 N. CARNO			
FRENCH BRO.	2814 N. CARNO			
FRENCH BRO.	2904 N. CARNO			

* Deed Restrictions, if available, are located in the Planning Division.

GENERAL NOTES:

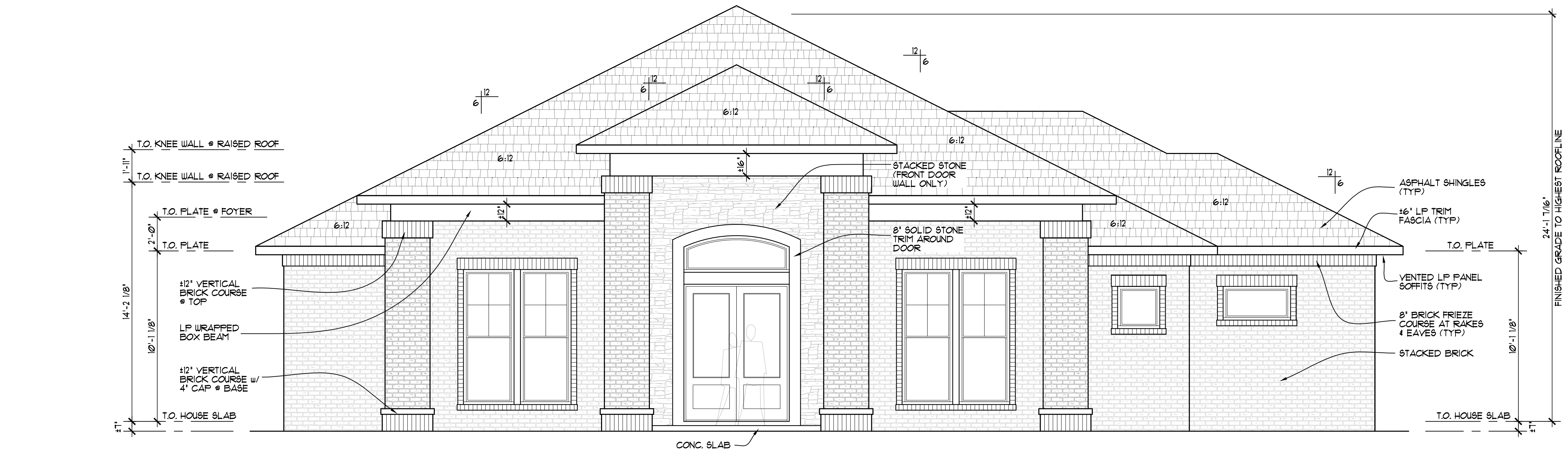
- PROVIDE DRIP CAP OVER WINDOWS DOORS AND TRIM.
- INSTALL TREATED SHEATHING BEHIND VENEER.
- FLASHING TO BE INSTALLED UNDER SIDING, JUNCTIONS OF ROOF AND WALLS, CHIMNEYS, ROOF VALLEYS, CHANGE OF SIDING MATERIALS, OR WHERE SIDING MEETS A TRIM BOARD AT BOTTOM OF A WALL.
- ALL DIMENSIONS ARE FROM FACE OF SHEATHING TO CENTERLINE OF STUD UNLESS NOTED OTHERWISE.
- SOLID BLOCK FLUES AT FLOORS & CEILINGS.
- UNFINISHED INTERIOR BEARING WALLS HAVE BLOCKING AT MIDPOINT.
- INSTALL SHOWER HEADS AT 7'-0" HEIGHT.
- PROVIDE SOLID STUD BEARING FOR POINT LOADS (MIN. WIDTH OF SUPPORTED FRAMING MEMBER).
- PROVIDE SOLID BLOCKING AS REQ'D AT ALL TOWEL BAR, PAPER HOLDER, HANDRAIL, SHOWER DOORS AND BATH TUB CURTAIN ROD LOCATIONS.
- VERIFY GRADES AND ADJUST FOUNDATION/FOOTING STEPS AS NEEDED.
- SEE PLANS FOR CEILING HEIGHTS.
- ALL TRADES & SUPPLIERS TO REVIEW & VERIFY INFORMATION PERTINENT TO THEIR WORK AND NOTIFY HOME OWNER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- NOTED CABINET SIZES ARE +/- AND TO BE FIELD VERIFIED.
- TRADES TO VERIFY BASE AND TRIM SIZE PRIOR TO CONSTRUCTION.
- ALL WALLS MORE THAN 10' H. TO BE S.P.F. #2 OR BETTER.
- EXTERIOR ELEVATIONS ARE CONCEPTUAL ONLY: HOME SITE, FILL AND TOPOGRAPHY WILL DICTATE ACTUAL GRADES AND MAY VARY FROM THOSE SHOWN ON THE PLAN.

- ALL EXTERIOR PENETRATIONS WILL BE SEALED.
- AIR SEALING REQUIREMENTS:
 - " HOUSE WRAP WILL BE INSTALLED ON ENTIRE HOUSE-OVERLAPPED 6", TAPED SEAMS AND WINDOW FLANGES.
 - " INSULATION, POLY (SEALED TO SUB-FLOOR), AND DRYWALL WILL BE APPLIED BEHIND TUB DECKS AND SHOWERS STALLS ON OUTSIDE WALLS.
 - " POLY AND OSB WILL BE APPLIED BEHIND AND AT TOP OF SOFFITS THAT INTERSECT WITH UNCONDITIONED SPACES/EXTERIOR WALLS.
 - " RIM JOIST WILL BE SEALED (IF APPLICABLE).
 - " CAULKING WILL BE APPLIED BEHIND WINDOW FLANGES.
- A CONTINUOUSLY SEALED VAPOR/AIR BARRIER WILL BE INSTALLED.
 - " ALL SEAMS WILL BE OVERLAPPED 6" AND TAPED.
 - " ACOUSTICAL SEALANT WILL BE USED AT TOP AND BOTTOM PLATES.
 - " ACOUSTICAL SEALANT WILL BE USED AT EXTERIOR WALL INTERSECTIONS.
 - " VAPOR BARRIER WILL BE TAPED TO LESCO BOX FLANGES.
 - " ALL PLUMBING AND ELECTRICAL PENETRATIONS, INCLUDING INSIDE LESCO BOXES, WILL BE SEALED.
- PROTECTION OF WOOD AND WOODBASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT PRESERVATIVE-TREATED IN ACCORDANCE WITH AWP-A-UI FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE:
 - " WOOD FRAMING MEMBERS THAT REST ON CONCRETE OR MASONRY EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8 INCHES FROM THE EXPOSED GROUND.
 - " SILLS AND SLEEPERS ON A CONCRETE OR MASONRY SLAB THAT IS IN DIRECT CONTACT WITH THE GROUND UNLESS SEPARATED FROM SUCH SLAB BY AN IMPERVIOUS MOISTURE BARRIER

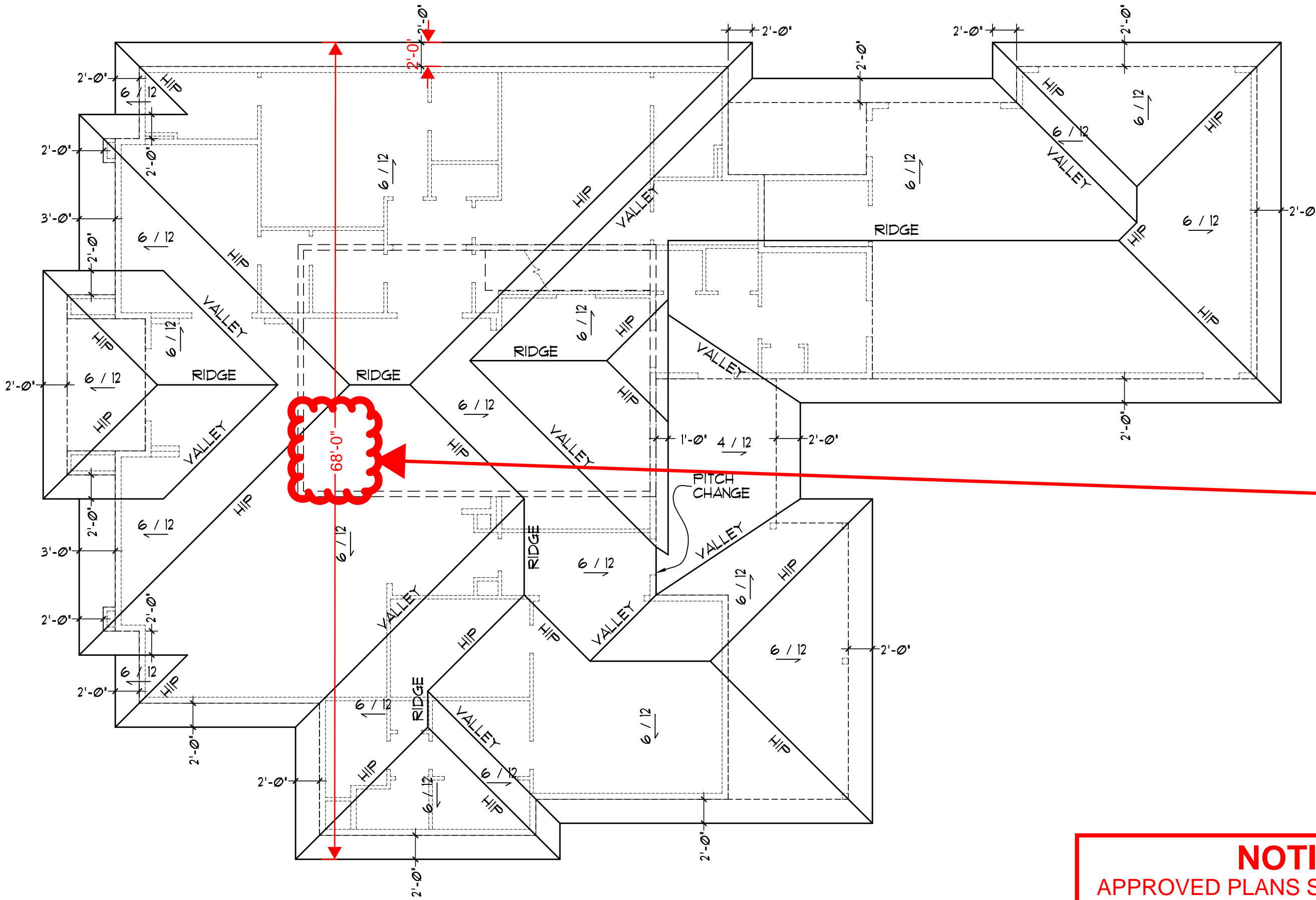
NOTE:
SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION THAT DOES NOT CREATE A HAZARD. LOT SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET.

NOTE:
-PROVIDE ATTIC VENTILATION EQUAL TO 1/300th ATTIC AREA.
-SEE ROOF TRUSS LAYOUT PROVIDED BY MANUFACTURER FOR TRUSS DIRECTION & GIRDER LOCATIONS.
-OVERLAY FRAME AS REQUIRED.
-INSTALL POWER IN ATTIC FOR VENTILATION FANS.

ROOF PLAN
SCALE: 1/8" = 1'-0"



FRONT / WEST ELEVATION
SCALE: 1/4" = 1'-0"



NOTICE
APPROVED PLANS SHALL REMAIN AT JOB SITE DURING CONSTRUCTION. NO CHANGES SHALL BE MADE TO THE APPROVED PLANS WITHOUT PRIOR APPROVAL BY THE PROFESSIONAL DESIGNER AND THE CITY OF HOBBS BUILDING DIVISION.

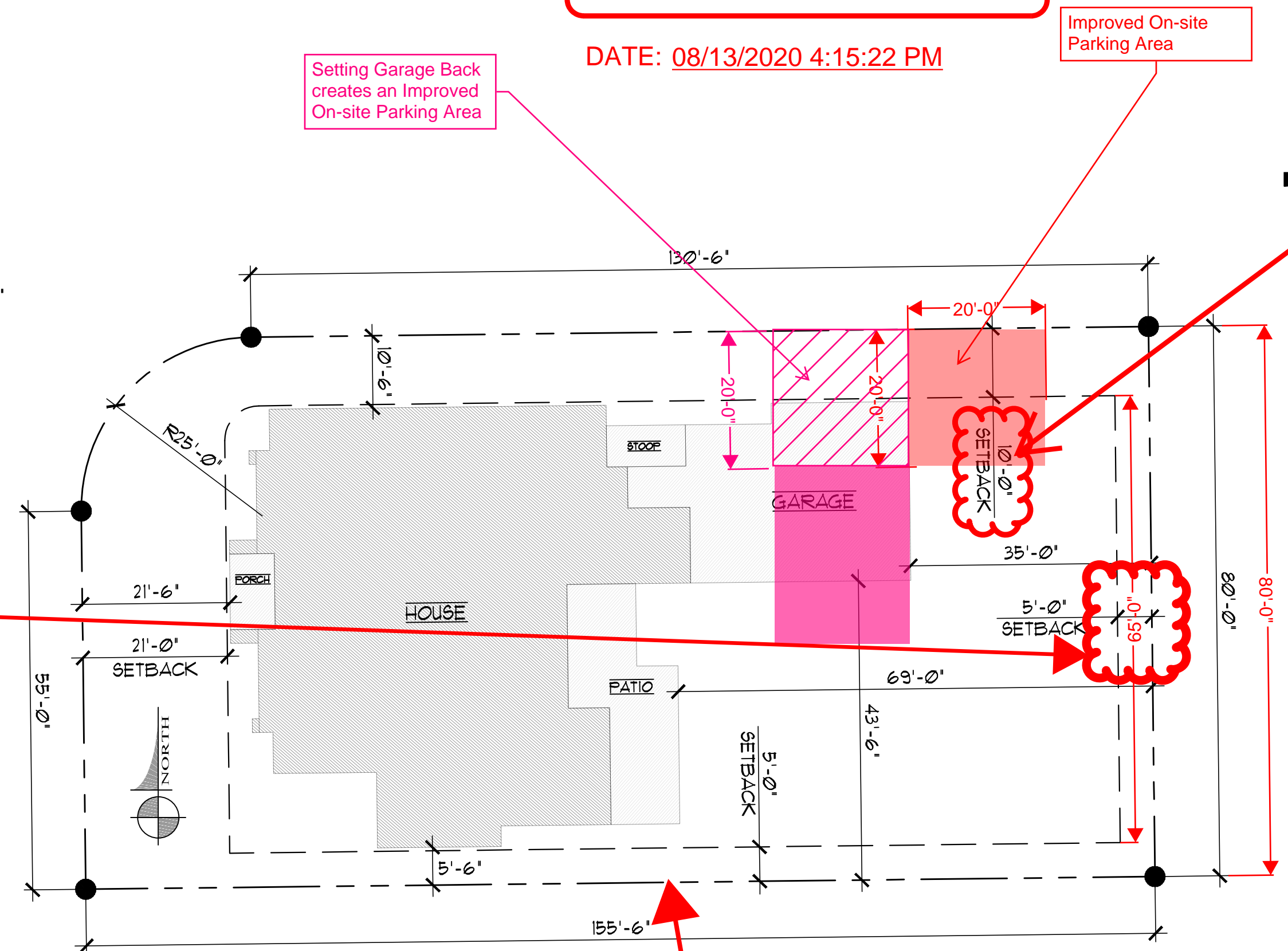
SITE PLAN
SCALE: 1/16" = 1'-0"

OFF-STREET OR ON-SITE PARKING REQUIREMENTS POLICY:

Minimum Off-Street or On-Site Parking Requirements include a minimum driveway length of 25' measuring from the sidewalk perpendicular to the garage or house, and a minimum driveway width of 20' or 2-10' x 20' minimum improved parking areas wholly located within the boundaries of the site but outside the envelope of any structure, excluding carports, contained within the site.

APPROVED
CITY OF HOBBS
BUILDING DIVISION

DATE: 08/13/2020 4:15:22 PM



NOTE:
TOP OF ANY EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER AT POINT OF DISCHARGE OR THE INLET OF AN APPROVED DRAINAGE DEVICE A MINIMUM OF 12\"/>

Improved On-site Parking Area

10' PL SB Structure would be 20' BOC

Muro Residence
2822 N. Carino Drive, Hobbs, NM 88240
Unit 4 - Lot 5

DATE
August 6, 2020

SHEET

1 OF 8

DISCLAIMER
The owner of this plan is responsible for compliance with all local building codes and for ensuring that the plan is correctly adapted to accommodate local site conditions. The owner should consult with a local architect or engineer regarding these matters.

Before construction begins, the owner should thoroughly review this plan with the contractor(s), verify all dimensions, and report any errors, omissions, or questions for clarification.

Before construction begins, the owner should verify all structural elements for the plan and site with local engineers. The exact size, reinforcement and depth of all concrete footings and foundations must be determined by soil conditions and acceptable practices for construction. The bottom of all footings should extend below the frost line. Before construction begins, the owner or contractor should consider verifying the design with a local engineer.

The owner of these plans understands all risks associated with adapting the plan to site conditions affected by variations in climate, design needs and building codes. The owner of this plan accepts all liability for adapting this plan to local site conditions, design changes, construction means, or methods, costs, workmanship, quality of materials, or equipment utilized in the construction.

October 20, 2020
Planning Board Regular Meeting

- 9) **Review and Consider side yard setback and parking variance request for 101 E. Marland as submitted by Cardinal Laboratories, property owner.**

From: Celey Keene <Celey.Keene@cardinallabsnm.com>
Sent: Monday, October 12, 2020 8:42 AM
To: Kevin Robinson
Subject: EXTERNAL: [Flagged as Suspicious] Variance Request for the Planning Commission
Attachments: Teske 1 of 1 Prelim Floor Plan 2-14-18.pdf; VARIANCE REQUEST.pdf
Importance: Low

Good Morning Mr. Robinson,

We would like to request a couple of variances for a new addition to our current location. Attached is a variance request letter as well as plans for the new addition. This is for the Planning Commission meeting on October 20, 2020. Would I be able to attend this meeting? I meant to ask you this when we spoke, but it slipped my mind. If so, where and when is the meeting?

THANK YOU,

Celey Keene
Lab Director
Cardinal Laboratories
101 East Marland
Hobbs, NM 88240
T: (575) 393-2326
F: (575) 393-2476
e-mail: celey.keene@cardinallabsnm.com

The information contained in this message is confidential and is only intended for the use of the individual/firm named above. If the reader of this message is not the intended recipient or the employee/agent responsible to deliver it to the intended recipient, you are hereby notified that any dissemination, distribution or copying of this communication is strictly prohibited. If you have received this communication in error, please notify us immediately by e-mail or telephone in order to return the message. We would like your feedback about the services you have received from Cardinal Laboratories. Click on the following link to complete a brief survey, <https://www.surveymonkey.com/s/Z7JXYQQ>. Thank you.



PHONE (575) 393-2326 • 101 E. MARLAND • HOBBS, NM 88240

City of Hobbs
Attn: Kevin Robinson
200 E. Broadway Street
Hobbs, NM 88240

October 9, 2020

Dear Mr. Robinson,

Cardinal Laboratories has proudly operated its business at 101 E. Marland in Hobbs since 1991. Over time, we've grown our staff and customer base, and have reached a point that we're in need of additional square footage for storage, offices, and a larger customer "log-in" area. We have engaged David Teske with Teske Architects to design an addition, the drawing of which is attached. We are respectfully requesting two code variances in order to make the addition possible. First, we're requesting a variance with respect to the number of parking spaces required. Second, we're requesting a setback variance.

Per City of Hobbs code, as we understand it, we must have one parking space per 200 net square feet. Per the design we would have a total of 6,132 gross square feet, or 5,690 net square feet in design terms, which is calculated using interior dimensions. Of that 5,690 square feet we will utilize roughly 900 square feet for file and supply storage, bringing the actively used "net" square feet to 4,790, and a 24-parking space requirement. As you can see from the drawing, we've created 20 total parking spaces, including handicap parking. Given the nature of our operation, this is an ample number of spaces as we employ 10 employees at any given time on the high-end, and service approximately 2 customer vehicles per operating hour. There is no retail aspect to our business and we plan on staying in our current location for many years, and believe the parking capacity will continue to be more than sufficient.

Regarding the setback variance, we understand the City of Hobbs code to specify 25 feet as the current setback requirement. Our building, which was constructed sometime during the 1970's currently sits on its North and West property lines. David Teske has asked us to point out that in his opinion it would stand to reason that the building addition be aligned with the current West side for two reasons; First, the labs proposed addition relates spatially with our current laboratory's functionality with respect to layout and utilities. Second, he states, "the position of the proposed addition lends itself better to vehicular circulation and parking on the Site far better than if the addition was required to be setback 25' which would seriously compromise the utilization of the revamped parking lot area."

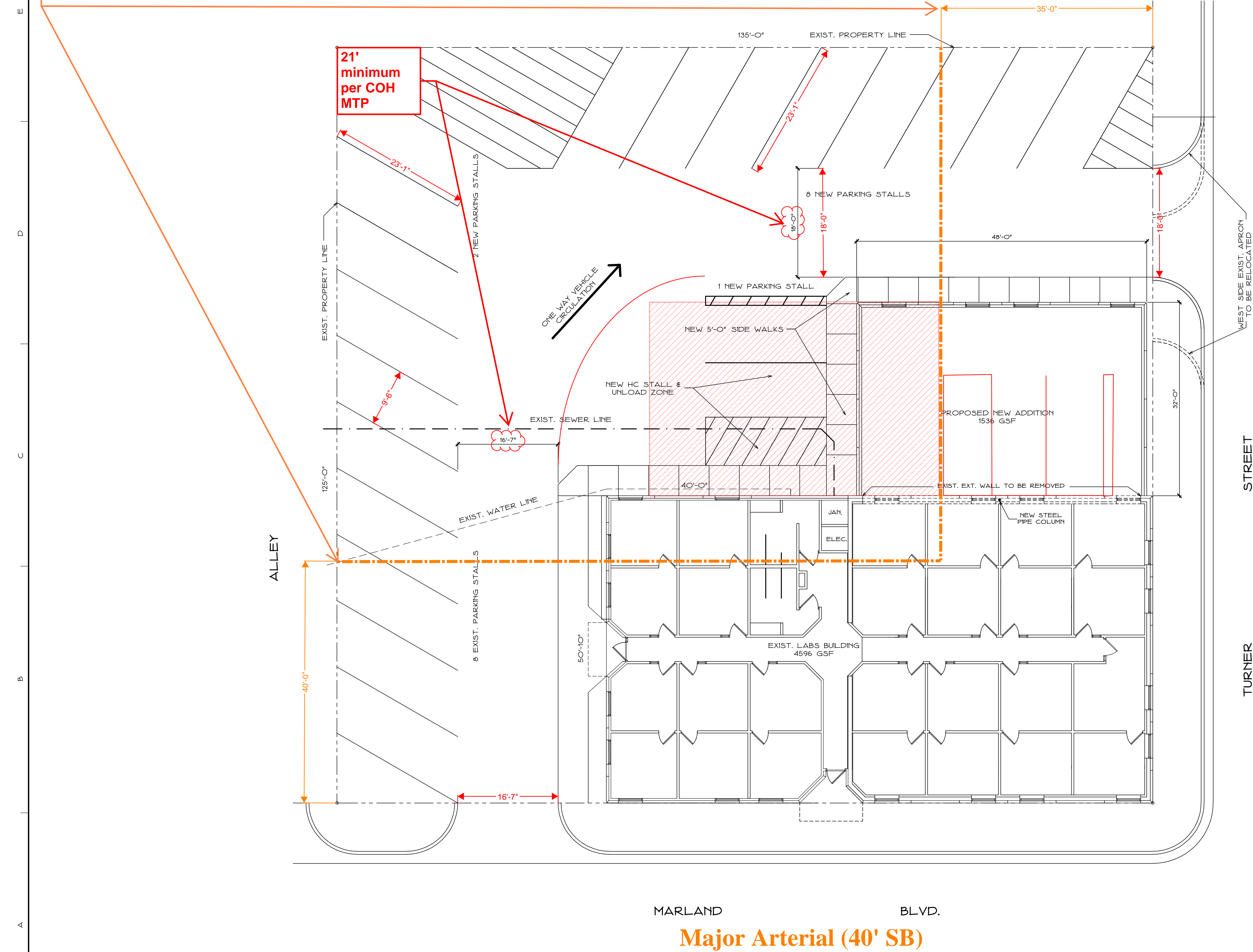
Thank you for considering these variances. Again, we have much affection for our current location and the community we serve, and look forward to continuing for many years to come.

Sincerely,

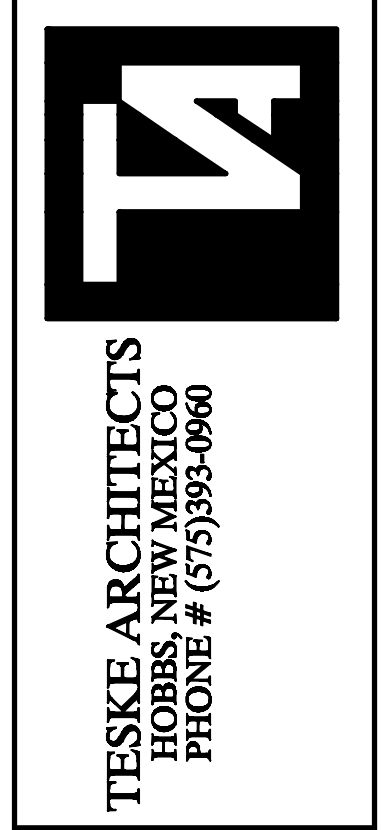
Celey Keene 10/09/20 CK

Celey Keene,
Co-owner, Laboratory Director
Cardinal Laboratories

Required Setback Lines



1/8" sc. FLOOR/SITE PLAN



PROPOSED ADDITION TO
CARDINAL LABORATORIES
at 101 E. MARLAND BLVD.
HOBBS, NEW MEXICO

[illegible]

DATE:	2-14-18
SHEET TITLE FLOOR PLAN & SITE PLAN	

October 20, 2020
Planning Board Regular Meeting

- 10) Second review Sketch Plan Liberty Hill 1 & 2 (primarily discuss Jefferson ROW)**

LIBERTY HELL

LIBERTY HELL UNIT 2 = 47 mpa

LIBERTY HELL UNIT 1 = 570 mpa

LIAT SPOTON LOCATION

SOUTHWESTERN PUBLIC SERVICE COMPANY
ELECTRIC EASEMENT (BK. 1903, PG. 237)

Project roadway from
Glorietta to School
property

OPTION 1

Projection of GOLD located outside the boundaries of the proposed subdivision

HOBBS MUNICIPAL SCHOOLS

ORIGINAL DRAWING 24" X 36"

ALJO DEVELOPMENT, LLC
TANGLEWOOD UNIT 7

MASTER LAYOUT

the ROSS GROUP
CONSULTING ENGINEERS
410 N. DAL PASO
HOBBES, NEW MEXICO 88240
(575) 392-7918 TELE.
(575) 392-9114 FAX

Drawn By:	Checked by:
SVM	PLR
Date:	Disk:
7/17/20	General
File Name:	Job No.:
Unit 7 Base	
SHEET	
of sheets	

NO.	DATE	REVISIONS:	BY	CHK	ENGR	APP.
1						
2						
3						
4						
5						

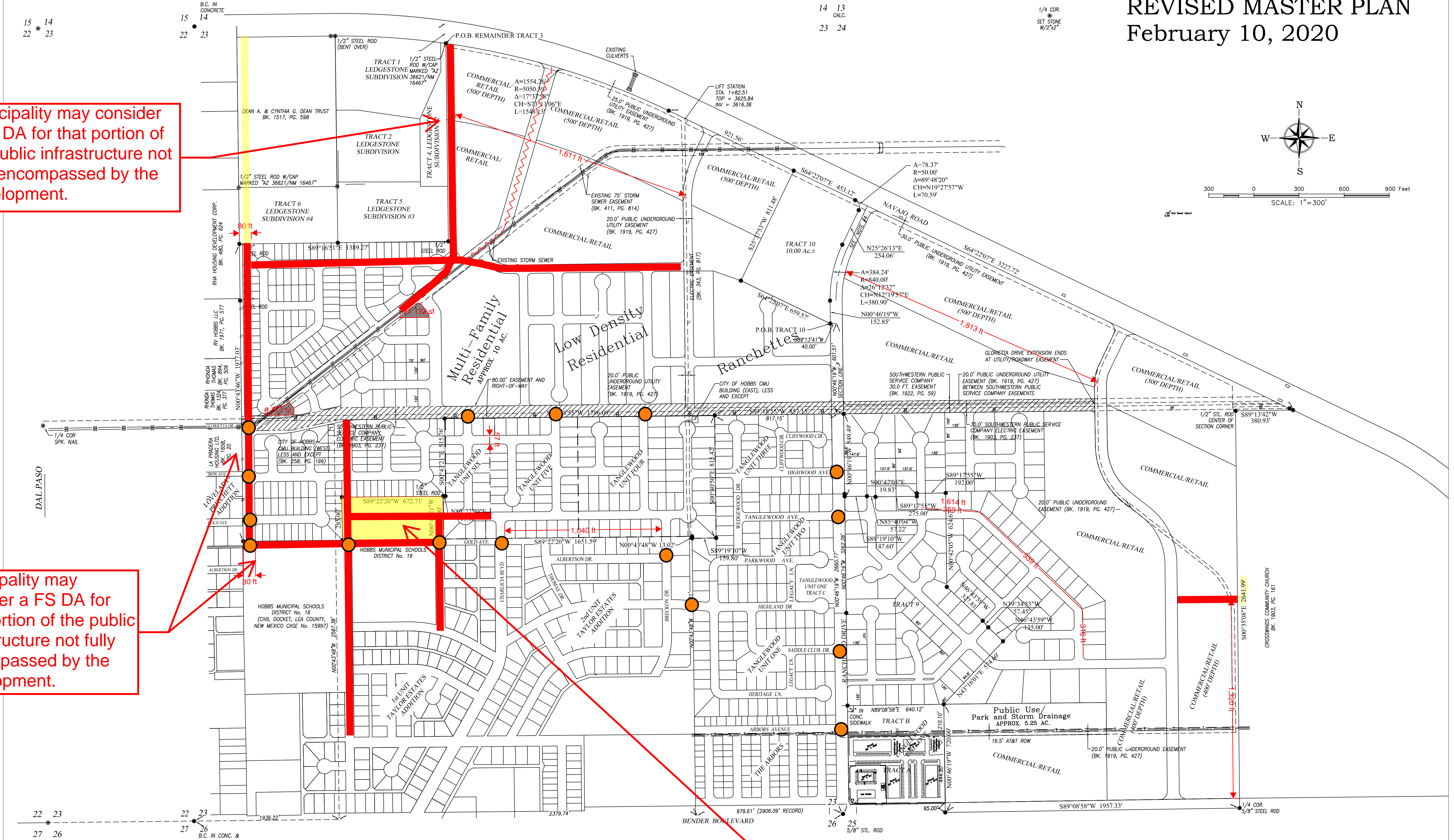
Staff Comments

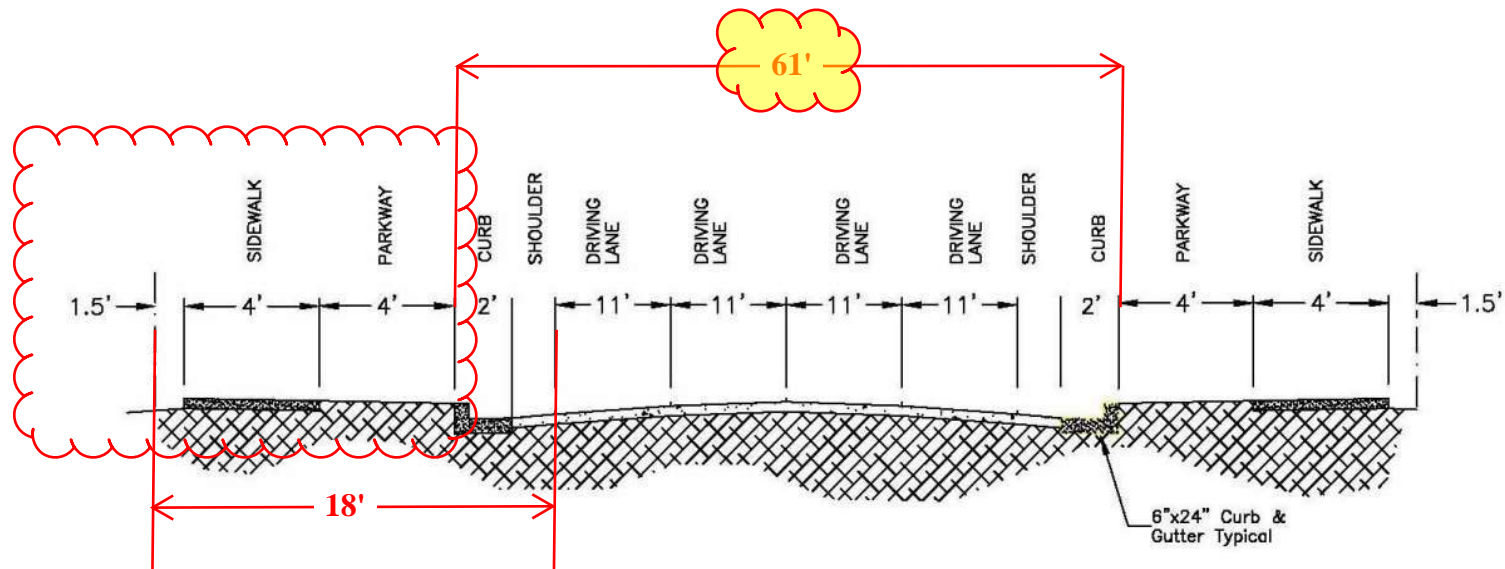
RANCHVIEW ESTATES REVISED MASTER PLAN February 10, 2020

Municipality may consider a FS DA for that portion of the public infrastructure not fully encompassed by the Development.

Municipality may consider a FS DA for that portion of the public infrastructure not fully encompassed by the Development.

Municipality may consider a Land Swap.





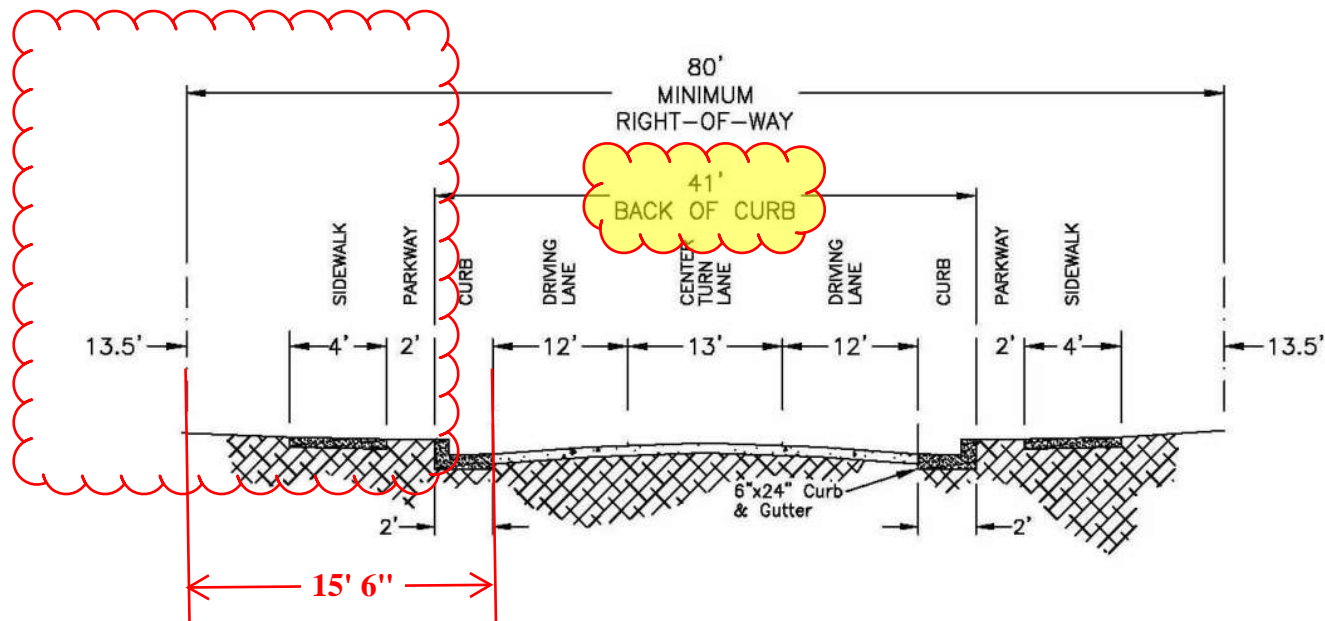
NOTES:

- Min. Right-of-Way Required: 80'
- Driving Lane Width: 11' to 12'
- Min. # of Driving Lanes: 4 Lanes
- Center Turn Lane Width: 13' if constructed.
- Outside (Right) Shoulder Width: 4.5' with no driving lane.
- Minimum Median Width: None
- On Street Parking Permitted: No
- Bike lanes: 6" Side lane on selected major collector streets.
- Sidewalks: 4' Sidewalk with 4' parkway separation from curb, on both sides, unless combined with bike lane.
- Utility Corridor: 10' Easements on each side of right-of-way, or as required by City & Private Utilities.
- Access Control Policy: Access only at City streets or major commercial centers.
- Minimum Pavement Width: 61' with center turn lane.
- (Back of Curb to Back of Curb)

LEGEND

- SIDEWALK
- CURB & GUTTER
- PAVED ROADWAY
- COMPACTED STATE APPROVED BASE COURSE
- EXISTING SUB-GRADE MATERIAL






DRAWING DATE	CITY OF HOBBS, NEW MEXICO DEPARTMENT OF ENGINEERING	REVISIONS
APPROVED BY	MAJOR COLLECTOR SECTION	PAGE NO. 18



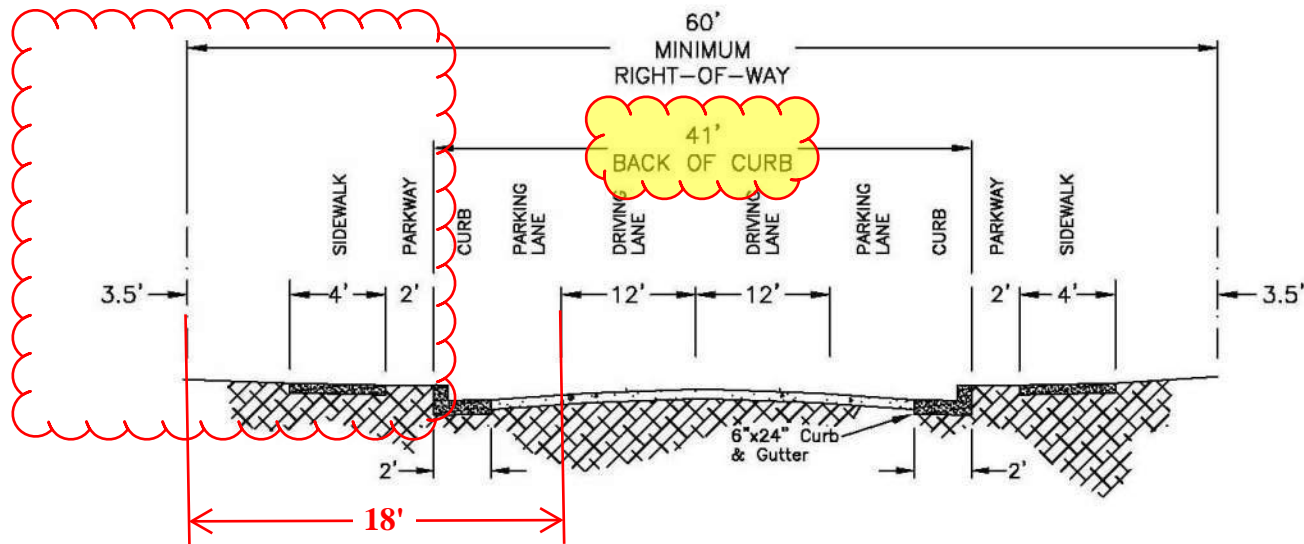
NOTES:

- Min. Right-of-Way Required:** 80'
- Driving Lane Width:** 12'
- Min. # of Driving Lanes:** Two 12' driving lanes and one center turn lane.
- Center Turn Lane Width:** None required.
- On Street Parking Permitted:** Yes
- Bike lanes:** None
- Sidewalks:** 4' Sidewalk on both sides with 2' parkway separation from curb.
- Utility Corridor:** 10' Easements on each side of right-of-way, or as required by City & Private Utilities.
- Access Control Policy:** Access at streets, alleys, and individual properties.
- Minimum Pavement Width:** 41' Back of Curb to Back of Curb

LEGEND

-  SIDEWALK
-  CURB & GUTTER
-  PAVED ROADWAY
-  COMPACTED STATE APPROVED BASE COURSE
-  EXISTING SUB-GRADE MATERIAL

DRAWING DATE	CITY OF HOBBS, NEW MEXICO DEPARTMENT OF ENGINEERING	REVISIONS
APPROVED BY	MINOR COLLECTOR SECTION	PAGE NO. 19



NOTES:

Min. Right-of-Way Required:	60'
Driving Lane Width:	12'
Min. # of Driving Lanes:	Two 12' driving lanes and two parking lanes.
Center Turn Lane Width:	None required.
On Street Parking Permitted:	Yes
Bike lanes:	None
Sidewalks:	4' Sidewalk on both sides with 2' parkway separation from curb.
Utility Corridor:	10' Easements on each side of right-of-way, or as required by City & Private Utilities.
Access Control Policy:	Access at streets, alleys, and individual properties.
Minimum Pavement Width:	41' Back of Curb to Back of Curb

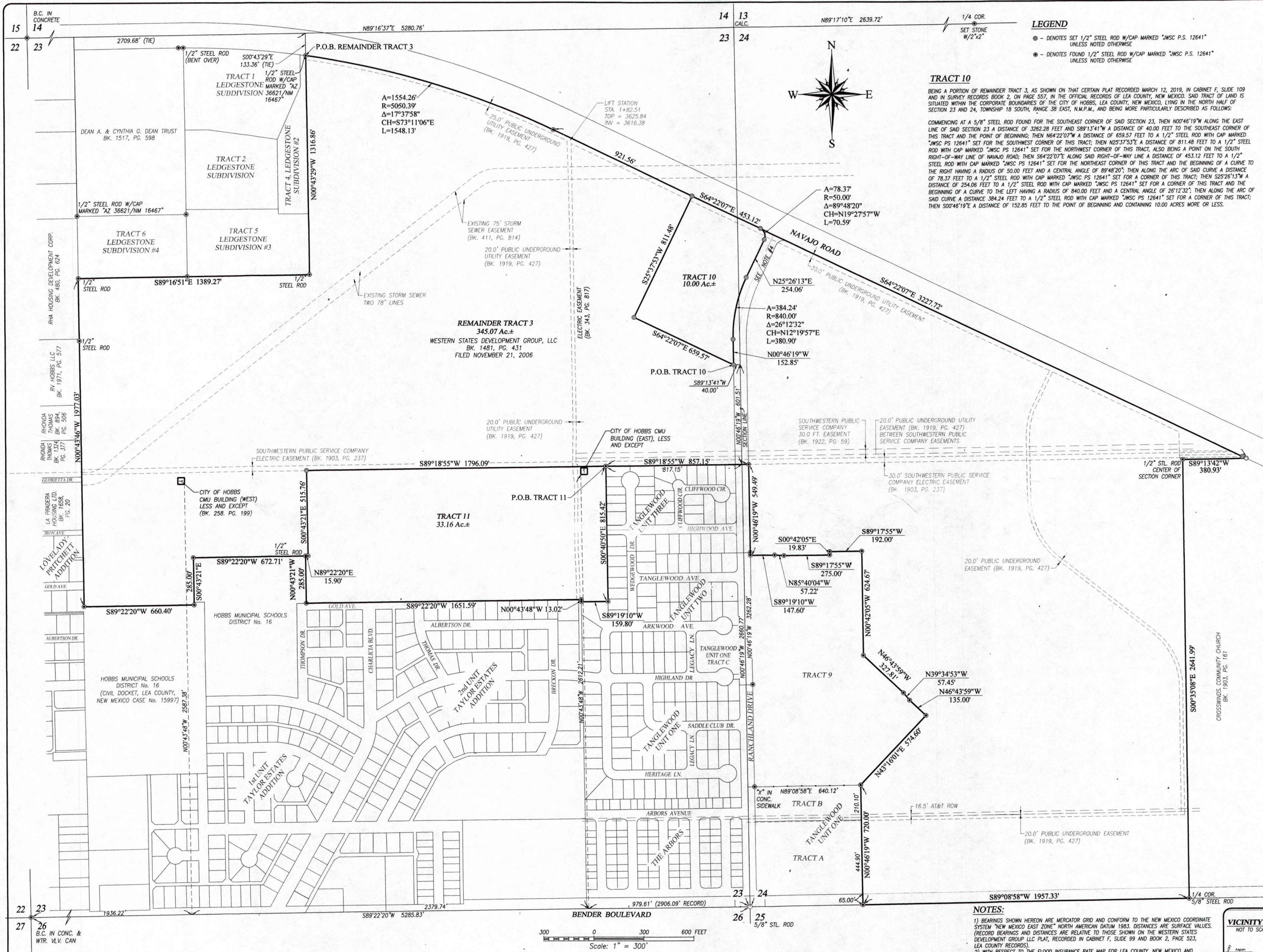
LEGEND

	SIDEWALK
	CURB & GUTTER
	PAVED ROADWAY
	COMPACTED STATE APPROVED BASE COURSE
	EXISTING SUB-GRADE MATERIAL

DRAWING DATE	CITY OF HOBBS, NEW MEXICO DEPARTMENT OF ENGINEERING	REVISIONS
APPROVED BY	RESIDENTIAL COLLECTOR SECTION	PAGE NO. 21

October 20, 2020
Planning Board Regular Meeting

- 11) Second review Sketch Plan Ranchview Masterplan (primarily discuss Ranchland Alignment)**



LEGEND

● - DENOTES SET 1/2" STEEL ROD W/CAP MARKED "JWSC P.S. 12641" UNLESS NOTED OTHERWISE

● - DENOTES FOUND 1/2" STEEL ROD W/CAP MARKED "JWSC P.S. 12641" UNLESS NOTED OTHERWISE

TRACT 10

BEING A PORTION OF REMAINDER TRACT 3, AS SHOWN ON THAT CERTAIN PLAT RECORDED MARCH 12, 2019, IN CABINET F, SLIDE 109 AND IN SURVEY RECORDS BOOK 2, ON PAGE 557, IN THE OFFICIAL RECORDS OF LEA COUNTY, NEW MEXICO, SAID TRACT OF LAND IS SITUATED WITHIN THE CORPORATE BOUNDARIES OF THE CITY OF HOBBES, LEA COUNTY, NEW MEXICO, LYING IN THE NORTH HALF OF SECTION 23 AND 24, TOWNSHIP 18 SOUTH, RANGE 38 EAST, N.M.P.M., AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A 5/8" STEEL ROD FOUND FOR THE SOUTHEAST CORNER OF SAID SECTION 23, THEN N00°46'19"W ALONG THE EAST LINE OF SAID SECTION 23 A DISTANCE OF 3262.28 FEET AND S89°13'41"W A DISTANCE OF 40.00 FEET TO THE SOUTHEAST CORNER OF THIS TRACT AND THE POINT OF BEGINNING; THEN N84°22'07"W A DISTANCE OF 659.57 FEET TO A 1/2" STEEL ROD WITH CAP MARKED "JWSC P.S. 12641" SET FOR THE SOUTHWEST CORNER OF THIS TRACT, THEN N25°37'53"E A DISTANCE OF 811.48 FEET TO A 1/2" STEEL ROD WITH CAP MARKED "JWSC P.S. 12641" SET FOR THE NORTHWEST CORNER OF THIS TRACT, ALSO BEING A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF NAVAJO ROAD; THEN S64°22'07"E ALONG SAID RIGHT-OF-WAY LINE A DISTANCE OF 453.12 FEET TO A 1/2" STEEL ROD WITH CAP MARKED "JWSC P.S. 12641" SET FOR THE NORTHEAST CORNER OF THIS TRACT AND THE BEGINNING OF A CURVE TO THE RIGHT HAVING A RADIUS OF 50.00 FEET AND A CENTRAL ANGLE OF 89°48'20"; THEN ALONG THE ARC OF SAID CURVE A DISTANCE OF 78.37 FEET TO A 1/2" STEEL ROD WITH CAP MARKED "JWSC P.S. 12641" SET FOR A CORNER OF THIS TRACT AND THE BEGINNING OF A CURVE TO THE LEFT HAVING A RADIUS OF 840.00 FEET AND A CENTRAL ANGLE OF 20°12'32"; THEN ALONG THE ARC OF SAID CURVE A DISTANCE OF 384.24 FEET TO A 1/2" STEEL ROD WITH CAP MARKED "JWSC P.S. 12641" SET FOR A CORNER OF THIS TRACT; THEN S00°46'19"E A DISTANCE OF 152.85 FEET TO THE POINT OF BEGINNING AND CONTAINING 10.00 ACRES MORE OR LESS.

WESTERN STATES DEVELOPMENT GROUP, LLC LAND DIVISION

A DIVISION OF REMAINDER TRACT 3, AS SHOWN ON THAT CERTAIN PLAT RECORDED MARCH 12, 2019, IN CABINET F, SLIDE 109 AND IN SURVEY RECORDS BOOK 2, ON PAGE 557, IN THE OFFICIAL RECORDS OF LEA COUNTY, NEW MEXICO, LOCATED WITHIN SECTIONS 23 AND 24, TOWNSHIP 18 SOUTH, RANGE 38 EAST, N.M.P.M., CITY OF HOBBES, LEA COUNTY, NEW MEXICO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

TRACT 11

BEING A PORTION OF REMAINDER TRACT 3, AS SHOWN ON THAT CERTAIN PLAT RECORDED MARCH 12, 2019, IN CABINET F, SLIDE 109 AND IN SURVEY RECORDS BOOK 2, ON PAGE 557, IN THE OFFICIAL RECORDS OF LEA COUNTY, NEW MEXICO, SAID TRACT OF LAND IS SITUATED WITHIN THE CORPORATE BOUNDARIES OF THE CITY OF HOBBES, LEA COUNTY, NEW MEXICO, SITUATED IN SECTION 23, TOWNSHIP 18 SOUTH, RANGE 38 EAST, N.M.P.M., AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A 1/2" STEEL ROD WITH CAP MARKED "JWSC P.S. 12641" FOUND AT THE NORTHWEST CORNER OF TRACT 8A, AS SHOWN ON SAID PLAT RECORDED IN CABINET F, SLIDE 109, FOR THE NORTHEAST CORNER OF THIS TRACT; THEN S00°40'50"E ALONG THE WEST LINE OF SAID TRACT 8A A DISTANCE OF 815.42 FEET TO A 1/2" STEEL ROD WITH CAP MARKED "JWSC P.S. 12641" FOUND FOR THE SOUTHEAST CORNER OF THIS TRACT; THEN S89°19'10"W A DISTANCE OF 159.80 FEET TO A 1/2" STEEL ROD WITH CAP MARKED "JWSC P.S. 12641" SET FOR A CORNER OF THIS TRACT; THEN N00°43'48"W A DISTANCE OF 13.02 FEET TO A 1/2" STEEL ROD WITH CAP MARKED "JWSC P.S. 12641" SET FOR A CORNER OF THIS TRACT; THEN S89°22'07"W ALONG THE NORTH LINE OF THE SECOND UNIT OF THE TAYLOR ESTATES ADDITION TO THE CITY OF HOBBES A DISTANCE OF 1651.59 FEET TO A 1/2" STEEL ROD WITH CAP MARKED "JWSC P.S. 12641" FOUND FOR A POINT ON THE EAST LINE OF A TRACT OF LAND CONVEYED TO THE HOBBES MUNICIPAL SCHOOLS DISTRICT NO. 16 (HMS NO. 16) BY WARRANTY DEED RECORDED IN BOOK 276, PAGE 124, OF THE OFFICIAL RECORDS OF LEA COUNTY, NEW MEXICO AND A CORNER OF THIS TRACT; THEN N00°43'21"W A DISTANCE OF 285.00 FEET TO A 1/2" STEEL ROD WITH CAP MARKED "JWSC P.S. 12641" FOUND FOR A CORNER OF THIS TRACT; THEN N89°22'07"E A DISTANCE OF 15.84 FEET TO A 1/2" STEEL ROD WITH CAP MARKED "JWSC P.S. 12641" SET FOR A CORNER OF THIS TRACT; THEN N00°43'21"W A DISTANCE OF 515.76 FEET TO A 1/2" STEEL ROD WITH CAP MARKED "JWSC P.S. 12641" SET FOR THE NORTHWEST CORNER OF THIS TRACT; THEN N89°18'55"E A DISTANCE OF 1796.09 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPT A TRACT OF LAND LOCATED IN THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 23, TOWNSHIP 18 SOUTH, RANGE 38 EAST, N.M.P.M., MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT WHICH LIES N89°22'07"E 4315.96 FEET AND N00°43'48"W 2612.21 FEET FROM THE SOUTHWEST CORNER OF SAID SECTION 23; THEN N00°43'48"W 40.00 FEET; THEN N89°22'07"E 40.00 FEET; THEN S00°43'48"E 40.00 FEET; THEN S89°22'07"W 40.00 FEET TO THE POINT OF BEGINNING, LEAVING TRACT 11 WITH 33.16 ACRES MORE OR LESS.

REMAINDER TRACT 3

A TRACT OF LAND IN SECTIONS 23 AND 24, TOWNSHIP 18 SOUTH, RANGE 38 EAST, N.M.P.M., CITY OF HOBBES, LEA COUNTY, NEW MEXICO, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A BRASS CAP IN CONCRETE AT SAID SECTION 23, THEN N89°16'37"E ALONG THE NORTH LINE OF SAID SECTION 23 A DISTANCE OF 2708.68 FEET; THEN S00°43'29"E A DISTANCE OF 133.36 FEET TO A 1/2" STEEL ROD WITH CAP MARKED "JWSC P.S. 12641" FOUND FOR THE SOUTHWEST CORNER OF THIS TRACT AND THE POINT OF BEGINNING; THEN N84°22'07"W A DISTANCE OF 659.57 FEET TO A 1/2" STEEL ROD WITH CAP MARKED "JWSC P.S. 12641" SET FOR THE SOUTHWEST CORNER OF THIS TRACT, THEN N25°37'53"E A DISTANCE OF 811.48 FEET TO A 1/2" STEEL ROD WITH CAP MARKED "JWSC P.S. 12641" SET FOR THE NORTHWEST CORNER OF THIS TRACT, ALSO BEING A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF NAVAJO ROAD; THEN S64°22'07"E ALONG SAID RIGHT-OF-WAY LINE A DISTANCE OF 453.12 FEET TO A 1/2" STEEL ROD WITH CAP MARKED "JWSC P.S. 12641" SET FOR THE NORTHEAST CORNER OF THIS TRACT AND THE BEGINNING OF A CURVE TO THE RIGHT HAVING A RADIUS OF 50.00 FEET AND A CENTRAL ANGLE OF 89°48'20"; THEN ALONG THE ARC OF SAID CURVE A DISTANCE OF 78.37 FEET TO A 1/2" STEEL ROD WITH CAP MARKED "JWSC P.S. 12641" SET FOR A CORNER OF THIS TRACT AND THE BEGINNING OF A CURVE TO THE LEFT HAVING A RADIUS OF 840.00 FEET AND A CENTRAL ANGLE OF 20°12'32"; THEN ALONG THE ARC OF SAID CURVE A DISTANCE OF 384.24 FEET TO A 1/2" STEEL ROD WITH CAP MARKED "JWSC P.S. 12641" SET FOR A CORNER OF THIS TRACT; THEN S00°46'19"E A DISTANCE OF 152.85 FEET TO THE POINT OF BEGINNING AND CONTAINING 10.00 ACRES MORE OR LESS.

LESS AND EXCEPT A TRACT OF LAND LOCATED IN THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 23, TOWNSHIP 18 SOUTH, RANGE 38 EAST, N.M.P.M., MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT WHICH LIES N89°22'07"E 1936.22 FEET AND N00°43'48"W 2587.38 FEET FROM THE SOUTHWEST CORNER OF SAID SECTION 23; THEN N00°43'48"W 40.00 FEET; THEN S89°22'07"E 40.00 FEET; THEN S00°43'48"E 40.00 FEET; THEN N89°22'07"W 40.00 FEET TO THE POINT OF BEGINNING, LEAVING TRACT 11 WITH 33.16 ACRES MORE OR LESS.

IN WITNESS WHEREOF, THE UNDERSIGNED OWNER OF SAID LAND, HAVE HEREUNTO SET THEIR HAND THIS 24 DAY OF MAY, 2019 A.D.

RICHARD LEMMON
WESTERN STATES DEVELOPMENT GROUP, LLC

ACKNOWLEDGMENT

STATE OF CALIFORNIA
COUNTY OF LOS ANGELES

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 24th DAY OF May, 2019 A.D., BY RICHARD LEMMON, WESTERN STATES DEVELOPMENT GROUP, LLC

NOTARY PUBLIC
My Commission Expires 10/27/2019



NOTES:

- 1) BEARINGS SHOWN HEREON ARE MERCATOR GRID AND CONFORM TO THE NEW MEXICO COORDINATE SYSTEM "NEW MEXICO EAST ZONE" NORTH AMERICAN DATUM 1983. DISTANCES ARE SURFACE VALUES. (RECORD BEARINGS AND DISTANCES ARE RELATIVE TO THOSE SHOWN ON THE WESTERN STATES DEVELOPMENT GROUP LLC PLAT, RECORDED IN CABINET F, SLIDE 99 AND BOOK 2, PAGE 523, LEA COUNTY RECORDS).
- 2) WITH RESPECT TO THE FLOOD INSURANCE RATE MAP FOR LEA COUNTY, NEW MEXICO AND INCORPORATED AREAS, PANEL 1355 OF 2150, MAP NO. 35025C13550, EFFECTIVE DATE, DECEMBER 16, 2008, THE ABOVE DESCRIBED PROPERTY LOCATED IN THE SOUTH HALF OF SECTION 23, TOWNSHIP 18 SOUTH, RANGE 38 EAST, N.M.P.M., CITY OF HOBBES, LEA COUNTY, NEW MEXICO, IS LOCATED IN ZONE B, BEING DESIGNATED AS AREAS IN WHICH FLOOD HAZARDS ARE UNDETERMINED, BUT POSSIBLE.
- 3) ADJACENT OWNERS OBTAINED FROM LEA COUNTY ASSESSOR'S OFFICE.
- 4) SURFACE AND SUB-SURFACE PUBLIC INFRASTRUCTURE EASEMENT BEING RESERVED WITH THIS RE-DIVISION.

PROVIDING SURVEYING SERVICES SINCE 1946
JOHN WEST SURVEYING COMPANY
412 N. DAL PASO • HOBBES, N.M. 88240
(575) 393-3117 • www.jwsurvey.com
TPLS# 10021000

VICINITY MAP



Scale: One Inch = Three Hundred Feet
CAD Drafter & Date: DSS - 04/18/19
JWSC W.O. No.: 19.11.0515
JWSC File No.: 15-3339

STATE OF NEW MEXICO
COUNTY OF LEA - FILED:

LEA COUNTY, NM
KEITH HANES, COUNTY CLERK
BOOK 2 Page 584
08/09/2019 10:13 AM
BY THERIA COLLINS

SURVEYOR'S CERTIFICATE:

I, GARY G. EIDSON, NEW MEXICO PROFESSIONAL SURVEYOR No. 12641, DO HEREBY CERTIFY THAT THIS SURVEY PLAT AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WERE PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION; THAT I AM RESPONSIBLE FOR THIS SURVEY; THAT THIS SURVEY MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO; AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

GARY G. EIDSON
DATE: 05/22/2019



CERTIFICATE OF MUNICIPAL APPROVAL:

I, KEVIN ROBINSON, DEVELOPMENT DIRECTOR FOR THE CITY OF HOBBES, LEA COUNTY, NEW MEXICO, DO HEREBY CERTIFY THAT THE FOREGOING PLAT IN THE CITY OF HOBBES, LEA COUNTY, NEW MEXICO, WAS REVIEWED AND DEEMED COMPLIANT WITH THE MUNICIPAL SUMMARY PROCESS REGULATIONS ON THIS 28th DAY OF May, 2019 A.D. AND THAT THIS SUBDIVISION IS NOT IN VIOLATION OF NOTE NO. 4, SHOWN ON THE PLATS OF LEDGESTONE SUBDIVISION, LEDGESTONE SUBDIVISION NO. 2, LEDGESTONE SUBDIVISION NO. 3, AND LEDGESTONE SUBDIVISION NO. 4.

KEVIN ROBINSON, DEVELOPMENT DIRECTOR
ATTEST: JEN FLETCHER, CITY CLERK

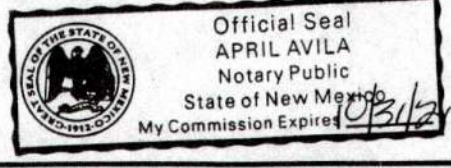


ACKNOWLEDGMENT:

STATE OF NEW MEXICO
COUNTY OF LEA

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 28th DAY OF May, 2019 A.D., BY RICHARD LEMMON AND JEN FLETCHER.

Notary Public
10/31/2021
My Commission Expires

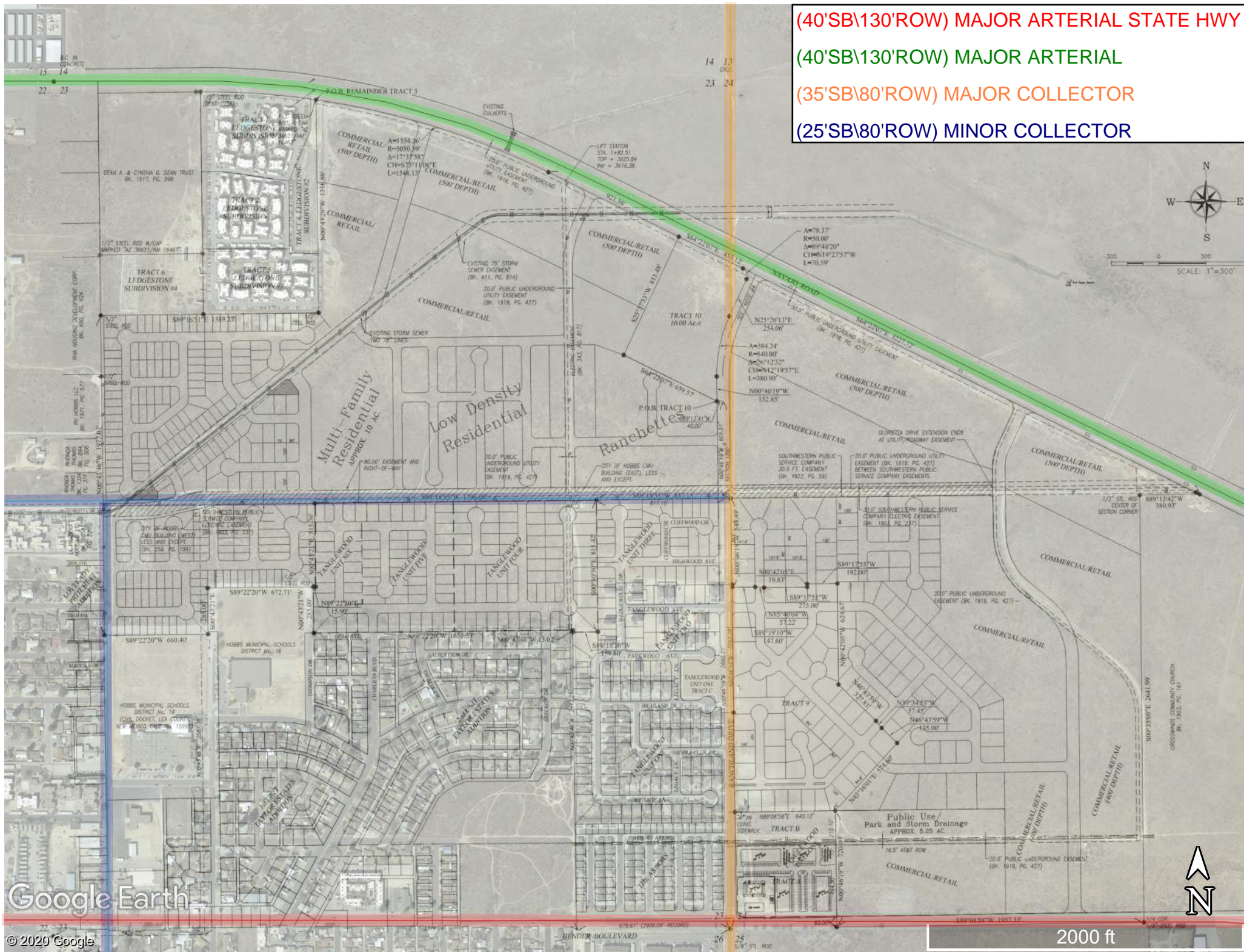


(40'SB\130'ROW) MAJOR ARTERIAL STATE HWY

(40'SB\130'ROW) MAJOR ARTERIAL

(35'SB\80'ROW) MAJOR COLLECTOR

(25'SB\80'ROW) MINOR COLLECTOR



Google Earth

© 2020 Google

2000 ft

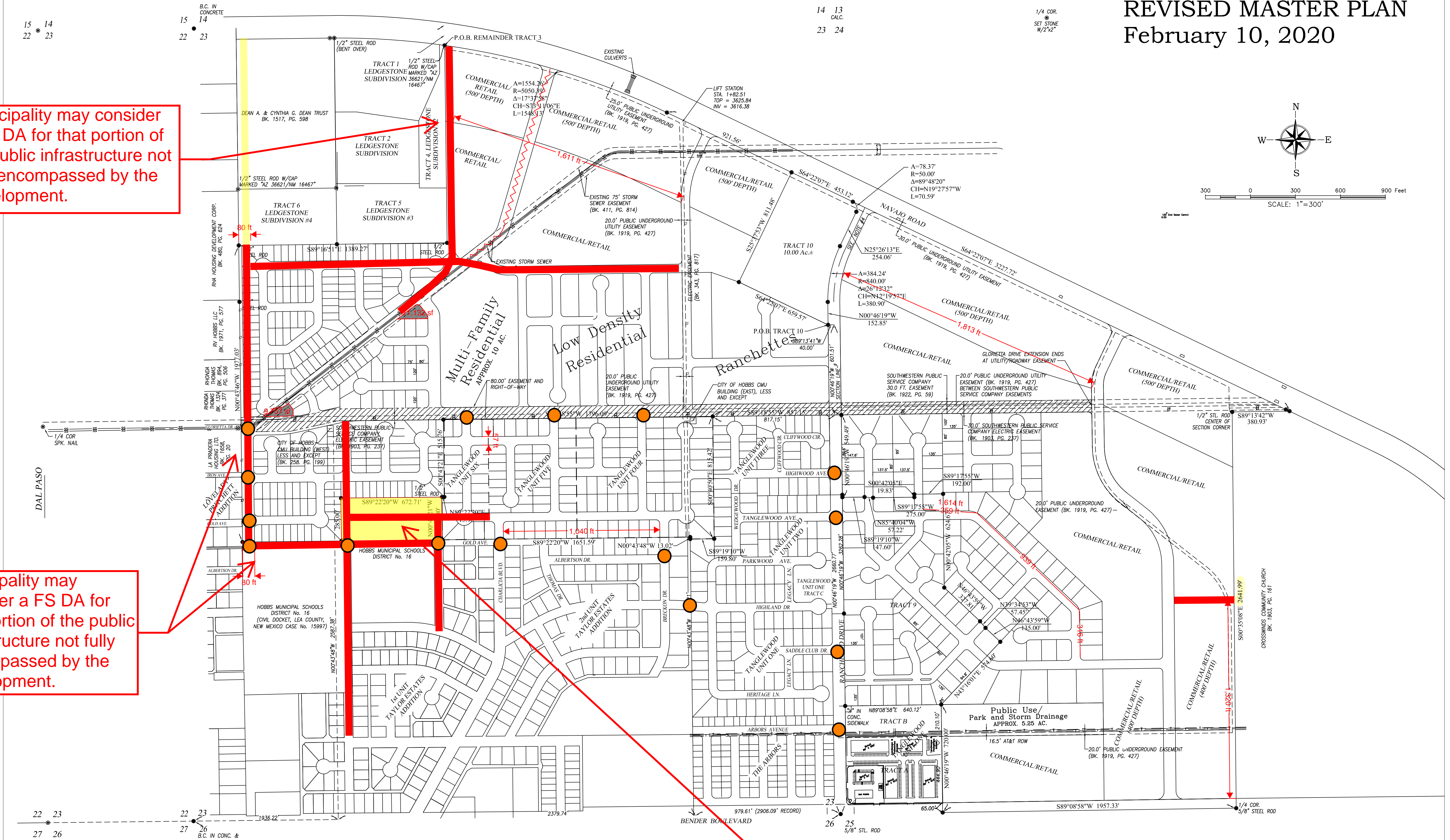
Staff Comments

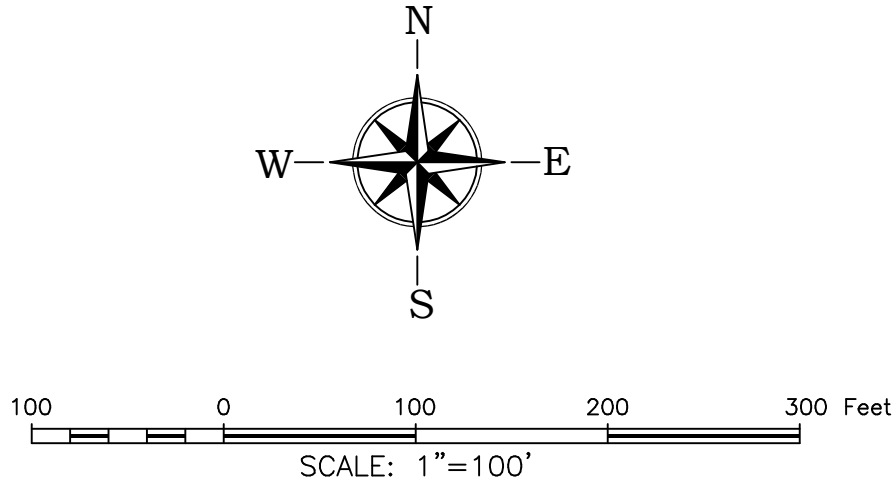
RANCHVIEW ESTATES REVISED MASTER PLAN February 10, 2020

Municipality may consider a FS DA for that portion of the public infrastructure not fully encompassed by the Development.

Municipality may consider a FS DA for that portion of the public infrastructure not fully encompassed by the Development.

Municipality may consider a Land Swap.





ORIGINAL DRAWING 24" X 36".

ALJO DEVELOPMENT, LLC
RANCHLAND DRIVE EXTENSION PROJECT
MASTER LAYOUT

the ROSS GROUP
CONSULTING ENGINEERS
410 N. DAL PASO
HOBBS, NEW MEXICO 88240
(575) 392-7918 TELE.
(575) 392-9114 FAX

Drawn By:	Checked by:
SMM	PLR
Date:	Disk:
8/10/20	RANCHLAND
File Name:	Job No.:
RANCHLAND	

NO.	DATE	REVISIONS:	BY	CHK	ENGR	APP.
1						
2						
3						
4						
5						

October 20, 2020
Planning Board Regular Meeting

12) Discussion Items:

- A. Illegal construction of a carport at 2704 N. Breckon.**



PLANNING DIVISION

200 E. Broadway St.
Hobbs, NM 88240
575-397-9351 bus
575- 397-9227 fax

City of Hobbs, New Mexico

Francisco Latimer & Celina Espinoza
2704 N. Breckon Dr.
Hobbs, NM 88240

Subject: Front Yard Setback Variance (Major Thoroughfare Plan) for 2704 N. Breckon Dr.
Date: August 25, 2020

The City of Hobbs Major Thoroughfare Plan requires a minimum of 21' setback from the property line (31' from back of curb) at 2704 N. Breckon Dr. However, the recently erected unpermitted structure is located in violation of the adopted setback requirements and within the public right – of - way.

You have placed an unpermitted carport in violation of the front yard setback requirements of the City of Hobbs Major Thoroughfare Plan. The front yard setback requirements as dictated by the Hobbs Major Thoroughfare Plan have not been violated within your block, i.e.; Highland Street north to the Alleyway. Therefore, the front yard setback variance request for 2704 N. Breckon Dr. cannot be approved. If you have any questions regarding this issue please do not hesitate to call me at 391-4111.

Sincerely,

CITY OF HOBBS, NEW MEXICO

A handwritten signature in blue ink, which appears to read "Kevin Robinson", is written over a horizontal line.

Kevin Robinson – Planning Department



1816

1820

2704

2700

ALBERTSON

2620

Sec23 T18S R38E

2613

2614

BRECKON

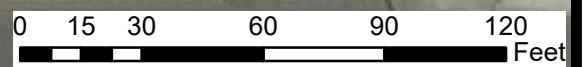
2607

2600

2601

Legend

- - - Compliant FYSetBack



HIGHLAND



VARIANCE APPLICATION

Application Date: 8/24/2020 Variance for (circle one): front yard / side yard
Property Owner: FRANCISCO LATIMER
DELINA ESPINOLA Phone: 575-300-9673
Address of proposed structure: 2704 N. BRECKON DR. HOBBS, NM, 88240

Subdivision (if known): _____ Lot & Block # (if known): _____

Type of proposed structure: CARPORT Dimensions of proposed structure: 27'X26'X14'

Are subdivision covenants and/or deed restrictions available? _____ If so, please attach a copy.

The existing front/side setback for the structure at the above address is 21' feet. If the variance is approved, the new front/side setback with the front improvement will be 5' feet.

* The Planning Board of the City of Hobbs has established a procedure to require each applicant for a setback variance to notify property owners **within 150 feet** of the proposed improvement. In addition, front-yard setbacks of less than 10' for buildings (excluding carports) are generally not permitted.

Addresses of existing carports/fences/porches in vicinity (if any):

1712 E. ALBERTSON DR.	
1715 E. ALBERTSON DR.	
1733 E. ALBERTSON DR.	
1800 E. ALBERTSON DR.	
1809 E. ALBERTSON DR.	

Please attach the following documents:

- Copy of Building Permit Application.
- Sketch Plan showing dimensions of existing and proposed improvements and distances from proposed improvement to sidewalk, curb, and/or edge of street.
- Copy of Covenants and/or Deed Restrictions, if any.
- Signature Sheet containing signatures of adjacent property owners **within 150 feet** of above referenced lot.

Return completed form to:
City-Hall - Planning Division
200 E. Broadway St.
Hobbs, NM 88240
P: 575-397-9232
F: 575-397-9227


Property Owner Signature

Date

CITY OF HOBBS, NM
PLANNING DIVISION
VARIANCE APPLICATION
 (To Front and/or Side Yard Setback Requirement)
Adjoining Property Owner Notification

Note: The Planning Board of the City of Hobbs has established a procedure to require each applicant for a front or side yard setback variance to notify property owners within 150 feet of the proposed improvement. In addition, front-yard setbacks of less than 10' for buildings (excluding carports) are generally not permitted.

Date: 8/24/2020

Applicant: FRANCISCO LATIMER
CELINA ESPINOZA

Phone: 575-513-5490
575-300-9673

Neighboring Property Owner:

For your information, a variance application has been submitted to build a structure in the front or side setback at:

Applicant address: 2704 N. BRECKON DR. HOBBS

Address of proposed structure: 2704 N. BRECKON DR, HOBBS

Subdivision (if known): _____ Lot & Block # (if known): _____

Type and dimensions of proposed structure (see attached drawing for details): 26' x 27' x 14'

The existing front/side setback for the structure at the above address is 21' feet. If the variance is approved, the new front/side setback with the front/side improvement will be 5' feet.

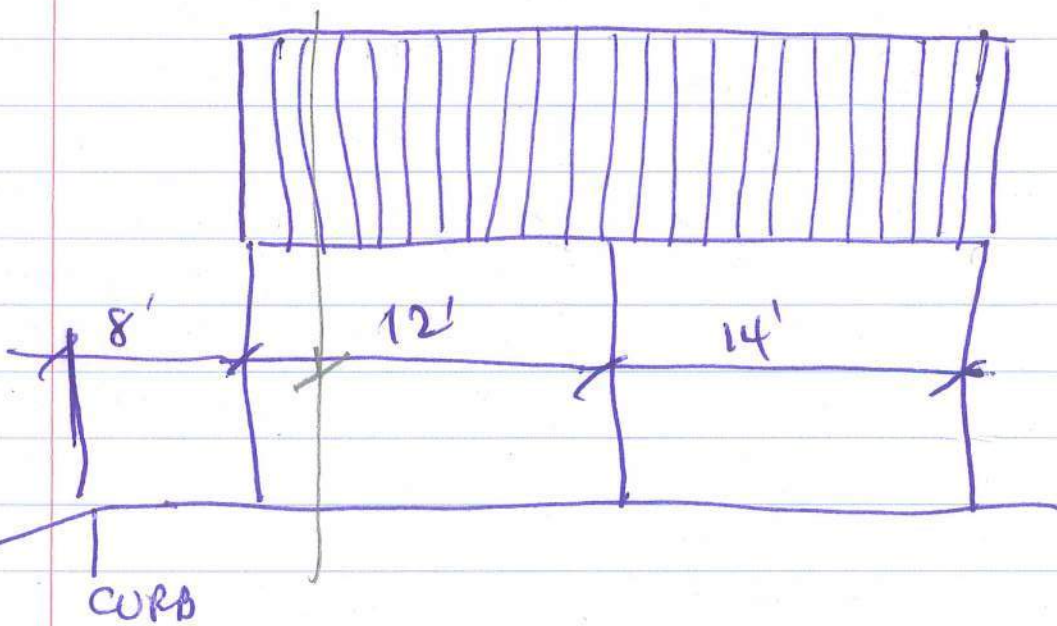
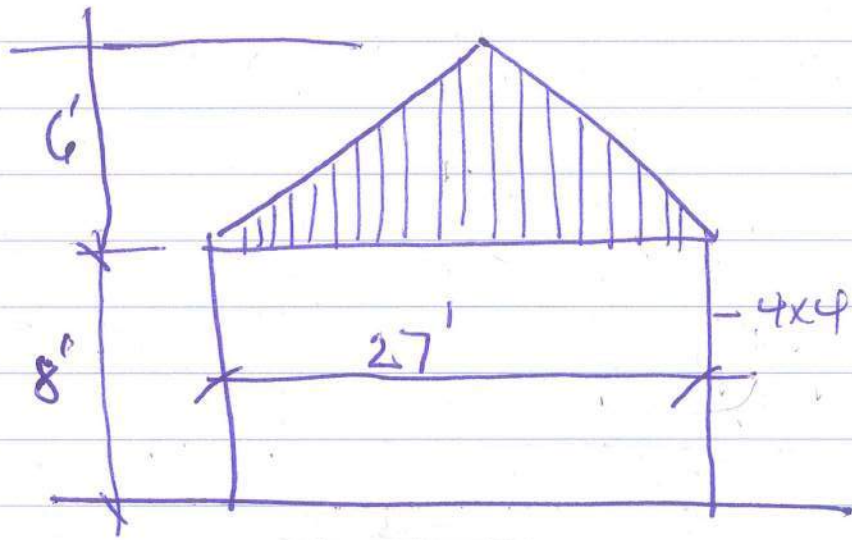
If any adjoining property owner has questions, please call the Planning Division at 397-9232. The City reserves the right to contact adjacent property owners to verify accuracy of signatures.

Signatures of adjoining property owners and acknowledgement of request:

Adjacent Property Owner Name(s)	Address	Signature(s)	Phone #	Do you support request? Y / N
Christopher Gonzales	2700 N. Breckon	<i>Chris Gonzales</i>		
Amos Jordan	1820 E. Albreckson	<i>Amos Jordan</i>		
Chris Howell	2620 N Breckon	<i>Chris Howell</i>		
Dee Slate	2614 N. BRECKON	<i>Dee Slate</i>		
	2613 N. BRECKON			

***Deed Restrictions**, if available, are located in the Planning Division.





2704 N Breckon Dr

60'

10 pies Derecho de Paso

21 pies Reveses

31' TOTAL Atras del Bordillo

21' Reve

10' Derecho de Paso

~~10. Directs~~

101127
S. R. R. C.
S. R. C. R. C.

150/150

Legend

2704 N Breckon Dr

Hobbs

© 2020 Google

5.71 ft





Building Inspection Department
200 E. Broadway, Hobbs, NM 88240
Phone (575) 391-8158

Application # _____

Building Permit Application

Application Received Date _____

Phone 575-300-9673

Owner _____ Address 2704 N. BRECKON DR. HOBBS, NM

Circle One: Residential or Commercial Type: New ☐ Remodel ☐ Addition ☐ Other ☐ *please attach required plans*

Job Location 2704 N. BRECKON DR. HOBBS NM 88240
Address City State Zip

Contractor _____
Name Address City State Zip Phone License #
Email _____

Architect or Engineer _____
Name Address City State Zip Phone License #

Subdivision _____ Lot _____ Block _____ Lot Size _____

Building is to be _____ ft. wide by _____ ft. long by _____ ft. in height and shall conform in construction.

Area or Volume _____
Cubic/ Square Feet

Type _____ Use Group _____ Basement walls or foundation _____
Type

% of improvements _____	Flood Zone _____	Elevation Certificate Received _____
Subdivision Approved _____	Drainage Plan Approved _____	

Job Description: _____

Valuation \$ _____ Permit Fee \$ _____ Plan Review Fee \$ _____ Total \$ _____

I, _____ as the Contractor, hereby agree to comply under this permit with all City, State and Federal codes.

Contractor's Signature _____ Date _____